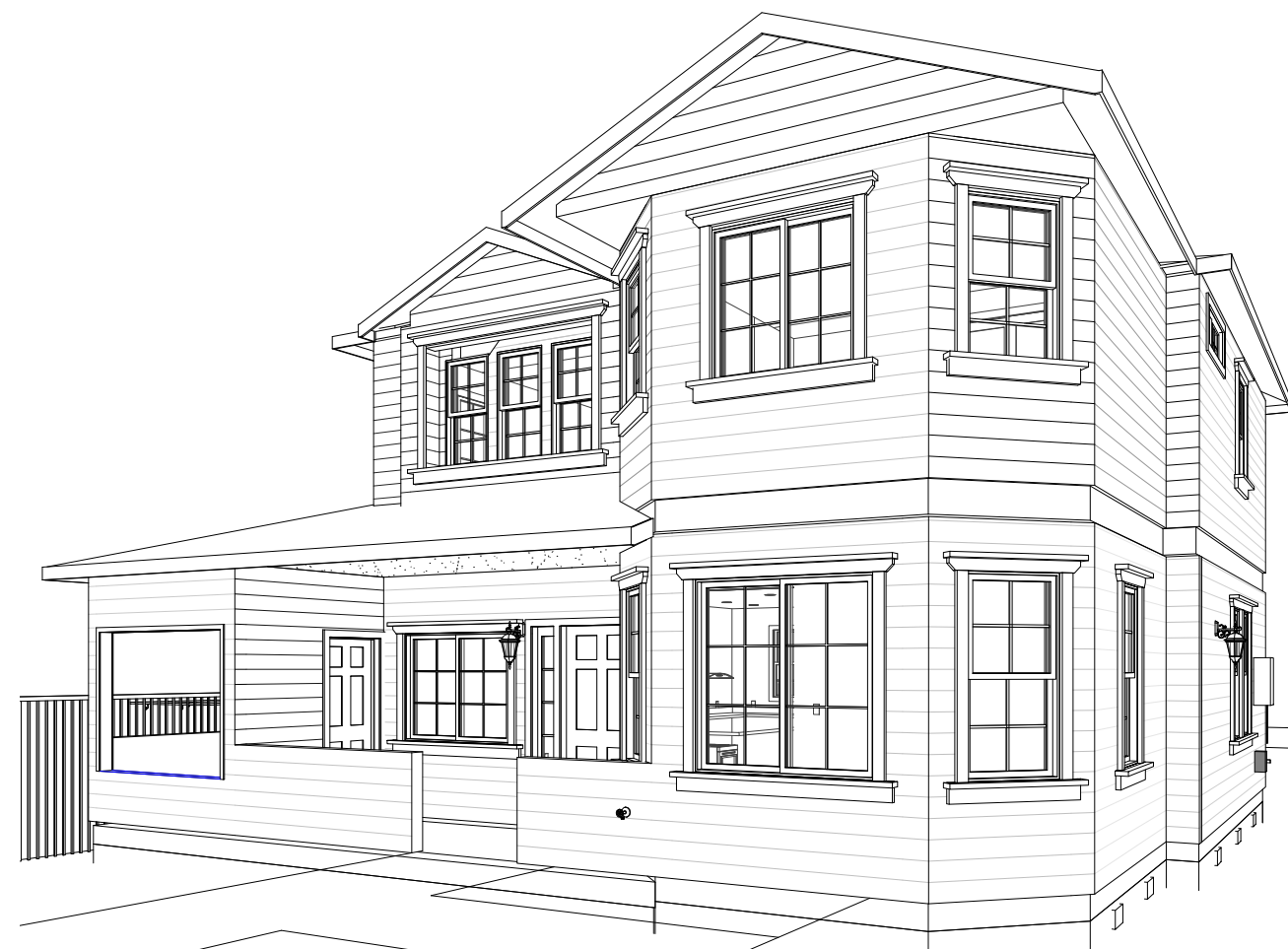


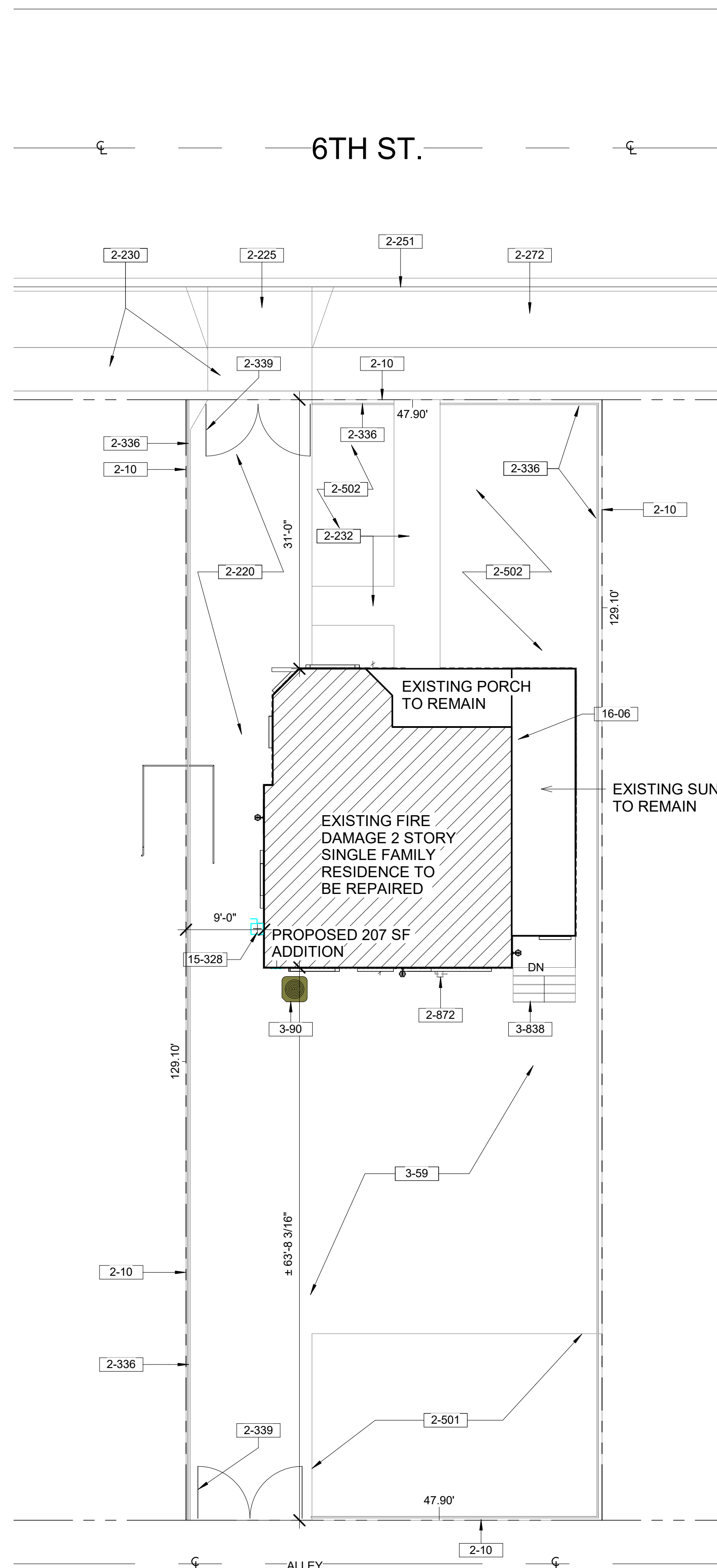
Existing to Repair



Proposed

SFR Fire Damage Repair For: Monaco Realty

1027 6th St. Redlands, CA 92374



Site Plan
1" = 10'-0"

Deferred Submittals

- TRUSSES AND CALCULATIONS
- FIRE SPRINKLERS PLANS

Lot Coverage Schedule

Lot Area	Footprint	Lot Coverage (%)
6,184 SF	1,188 SF	19.21

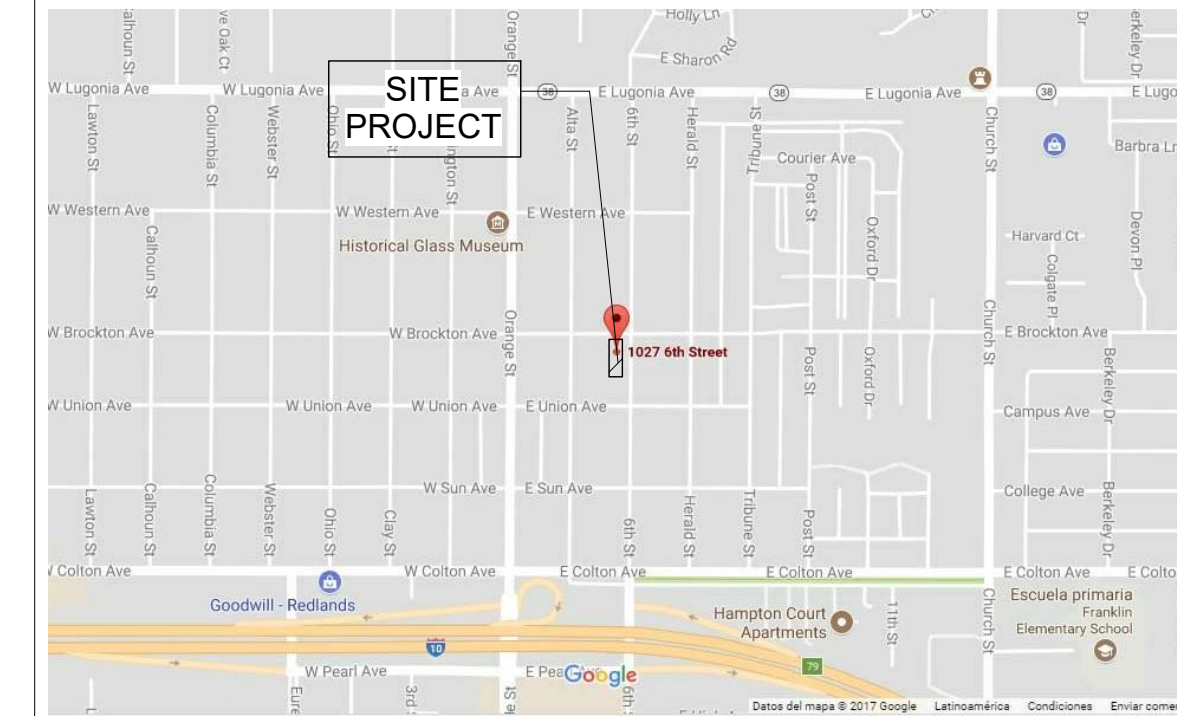
Footprint Area Schedule

Name	Area
Existing First Floor	930 SF
Existing Porch	97 SF
Existing Sunroom	161 SF
Total Footprint Area:	1,188 SF

Existing & Proposed Area Schedule

Name	Area
Conditioned	
Existing First Floor	930 SF
Existing Second Floor - Remo	620 SF
Total Existing Conditioned	1,550 SF
Proposed Area on Second Floor	207 SF
Total Proposed Conditioned	207 SF
Non Conditioned	
Existing Porch	97 SF
Existing Sunroom	161 SF
Total Non Conditioned	258 SF
Lot Coverage	2,015 SF
TOTAL FIRST FLOOR PLAN:	930 SQ. FT.
TOTAL SECOND FLOOR PLAN:	827 SQ. FT.
GRAN TOTAL CONDITIONED AREA:	1,757 SQ. FT.

Index of Drawings	
Number	Description
A-1	SITE PLAN
A-2	EXISTING - DEMO FLOOR PLANS
A-3	FLOOR PLAN SCHEDULE & NOTES
A-4	SECTION & ELEVATIONS
A-5	ELEVATION AND ROOF PLAN
A-6	ELECTRICAL PLANS
A-7	MECHANICAL & PLUMBING PLANS
T24-1	T-24 Forms
T24-2	T-24 Measures
S-1	FOUNDATION PLAN
S-2	SECOND FLOOR FRAMING PLAN
D-1	STRUCTURAL DETAILS
D-2	STRUCTURAL DETAILS
HFX1	HARDY FRAMES
HFX2	HARDY FRAMES
HFX3	HARDY FRAMES



VICINITY MAP

Project Information

OWNER: MONACO REALTY
10803 E FOOTHILL BLVD
RANCHO CUCAMONGA, CA 91730

CONTACT: NOEMI M. & MANNY BADIOLA
noemimontes@trinitya7.com
(323) 997-3398

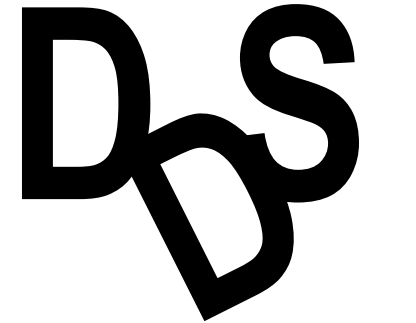
PROJECT ADDRESS: 1027 6th St.
Redlands, CA 92374

Building Data

APN: 0169-074-09
ZONING: R-1
OCCUPANCY: GROUP R-3/U
CONSTRUCTION: TYPE V-B
PROJECT DESCRIPTION: FIRE DAMAGE TO REPLACE LIKE AND KIND. INVOLVES THE REPLACEMENT OF THE EXISTING 1ST. FLOOR, WALLS, 2ND FLOOR FIRE DAMAGE AT THE NORTH WEST SIDE WITH A NEW.

FIRE SPRINKLERS: NONE EXISTING / NON-REQUIRED

General Notes	
No.	Note
1	LUMBER SHALL BE GRADE STAMPED AND CONFORM TO THE FOLLOWING MINIMUM STANDARDS: A) STRUCTURAL LUMBER TO BE WEST COAST DOUG FIR NO. 2 OR BETTER (UNLESS NOTED OTHERWISE) THIS INCLUDES BEAMS, HEADERS, BLOCKING, DIAGONALBRACES, PLATFORMS, STRINGERS, JOISTS, RAFTERS AND POSTS. (BEAMS 4 x 12 AND LARGER TO BE DOUG FIR #1 & BTR.) B) STUDS MAY BE "CONSTRUCTION GRADE" DOUGLAS FIR OR #1 & BETTER. C) TOP PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED "WOLMANIZED" OR FOUNDATION GRADE REDWOOD E) TRUSS MEMBERS AND COMPONENTS SHALL NOT BE CUT, DRILLED, NOTCHED, OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN CONCURRENCE AND APPROVAL OF A REGISTERED DESIGN PROFESSIONAL
2	STRUCTURAL CONNECTOR REFERENCES ARE TO "SIMPSON STRONG-TIE" CONNECTORS, I.C.C. APPROVED
3	NO STRUCTURAL MEMBER SHALL BE SERIOUSLY WEAKENED OR IMPAIRED BY CUTTING OR NOTCHING
4	CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA MODIFIED VERSION (TITLE 24, 2016 EDITION) OF THE FOLLOWING CODES: 2016 CALIFORNIA BUILDING CODE, (2015 IBC) 2016 CALIFORNIA PLUMBING CODE, (2016 UPC) 2016 CALIFORNIA MECHANICAL CODE, (2015 UMC) 2016 CALIFORNIA ELECTRICAL CODE, (2015 NEC) 2016 CALIFORNIA FIRE CODE, (2015 IFC) 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS 2016 CALIFORNIA GREEN BUILDING CODE TITLE 24 2016 CAC ALL OTHER APPLICABLE LAWS AND REGULATIONS
7	FIXTURES, DEVICES AND EQUIPMENT SHALL COMPLY WITH APPLICABLE CEC REGULATIONS.
8	FASTENERS FOR PRESERVATIVE TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC-COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153. FASTENERS OTHER THAN NAILS, TIMBER RIVETS WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC-COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B 695, CLASS 55 MINIMUM.
9	THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
10	APPROVAL OF THESE PLANS BY THE BUILDING DEPARTMENT DOES NOT INCLUDE APPROVAL FOR ANY TYPE OF ALARM SYSTEM THAT MAY BE SHOWN OR REQUIRED. SEPARATE APPROVALS FOR ANY ALARM SYSTEMS MUST BE OBTAINED.
11	ALL STEEL REINFORCEMENT TO COMPLY WITH ASTM-615, STEEL #4 AND SMALLER USE GRADE 40, #5 AND LARGER USE GRADE 60
12	DESIGNER HAS DETERMINED THE FLOOR AREAS INDICATED BY METHODS DEEMED TRUSTWORTHY. HOWEVER, DESIGNER IS NOT LIABLE FOR THEIR EXACTNESS. FLOOR AREAS SHOWN ARE FOR BUILDING DEPARTMENT PURPOSES ONLY AND ARE NOT FOR MARKETING, BIDS OR SELLING PURPOSES. OWNER SHALL INDEMNIFY AND HOLD DESIGNER HARMLESS FOR ANY CLAIMS WHATSOEVER RELATING TO, OR ARISING FROM, DESIGNER'S AREA CALCULATIONS
13	PLUMBING CONTRACTOR SHALL MAKE EVERY EFFORT TO GANG VENTS IN THE ATTIC TO MINIMIZE ROOF PENETRATIONS. OFFSET VENTS TO REAR OF HOUSE AS MUCH AS POSSIBLE.
14	ALL EXISTING WORK TO BE REMOVED SHALL BE PROVIDED ADEQUATE TEMPORARY SUPPORT OF EXISTING STRUCTURE AT ALL TIMES.



Drafting Design Services
Javier Montes
Additions, New Homes, Tract Developments,
Commercial Building
25545 Date St E, San Bernardino, CA 92404
(323) 997-3398

SFR Fire Damage Repair For:

Project: Monaco Realty 1027 6th St. Redlands, CA 92374

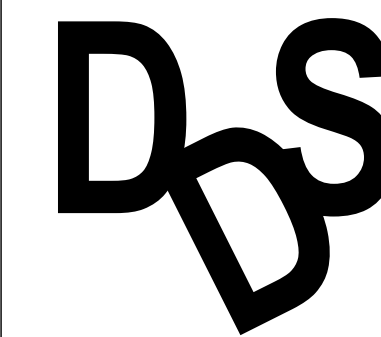
Owner: Monaco Realty 1027 6th St. Redlands, CA 92374

Sheet: **SITE PLAN**

Project number: 17-0929
Date: 10/07/2017
Drawn by: MC
Checked by: AE

A-1

Scale: As indicated



Drafting Design Service

Javier Montes

Additions, New Homes, Tract Developments, Commercial Building

25549 Date St E, San Bernardino, CA 92404

(323) 997-3398



ALL FIRE DAMAGE SEWER OR IT DOES NOT MEET CBC 2016 WILL BE REMOVED AND REPLACED



ALL FIRE DAMAGE ELECTRICAL WIRE OR IT DOES NOT MEET CBC 2016 WILL BE REMOVED AND REPLACED



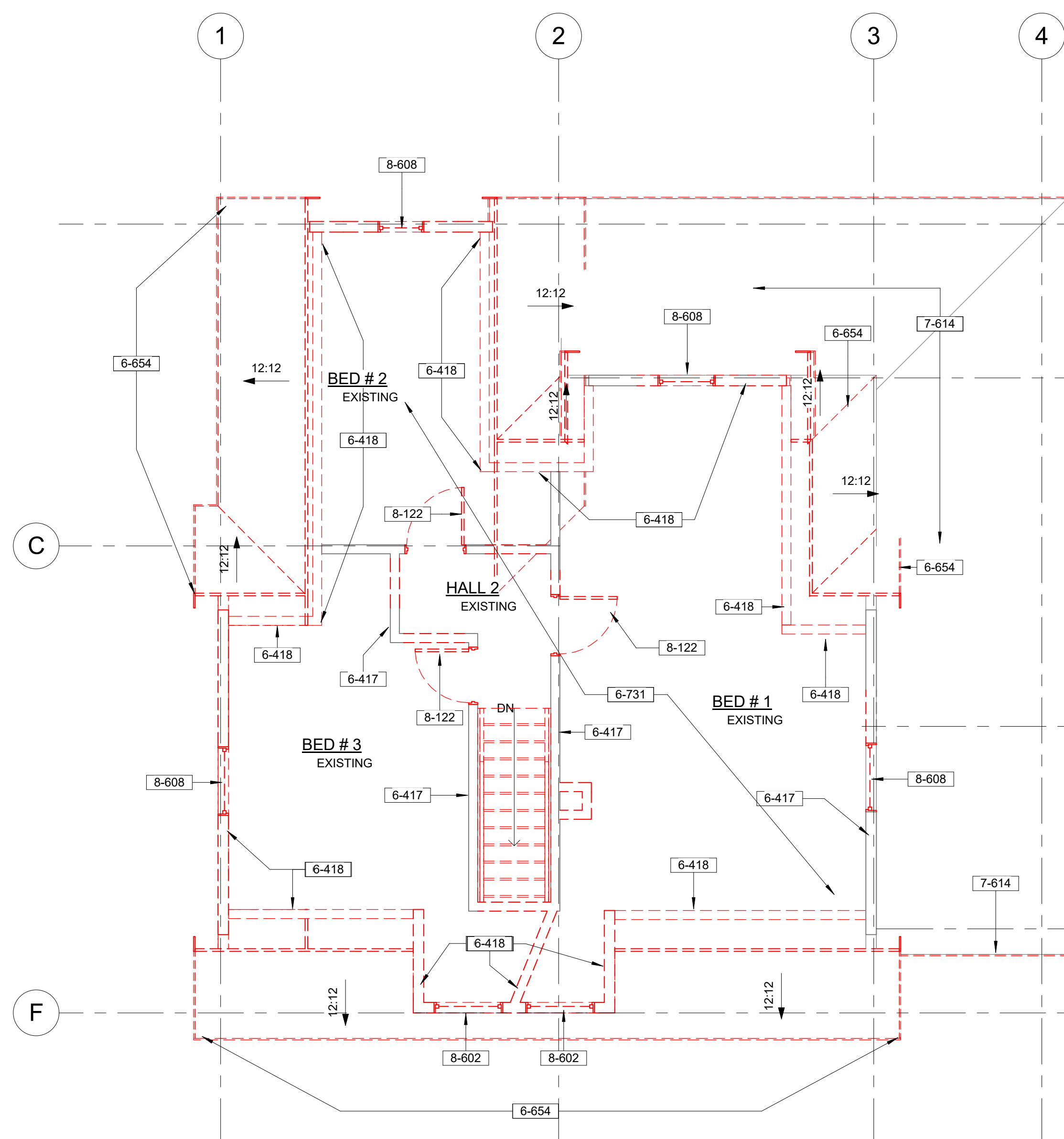
ALL FIRE DAMAGE WATER LINES OR IT DOES NOT MEET CBC 2016 WILL BE REMOVED AND REPLACED



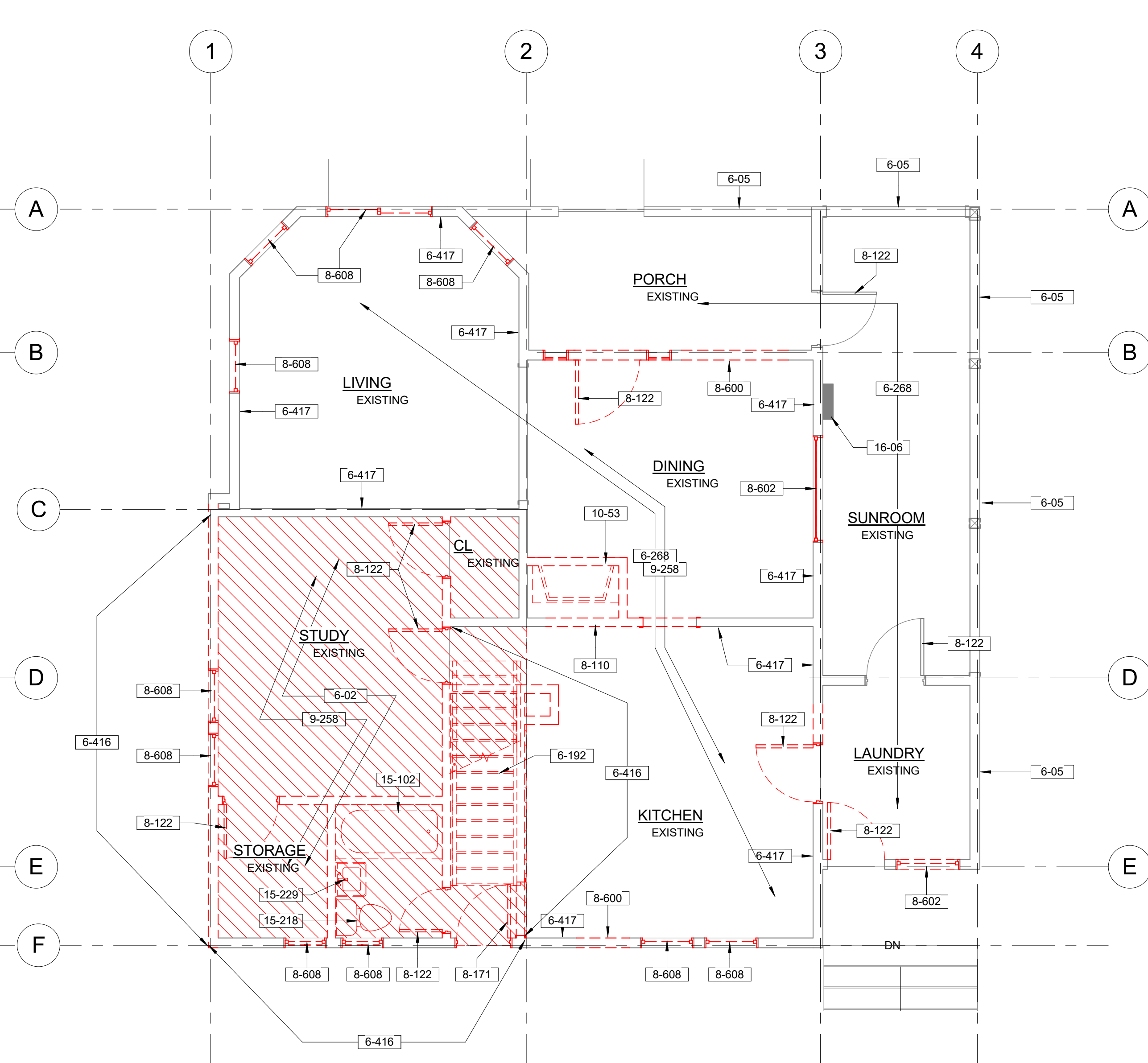
SEE KEY NOTES 602, 6-416, 6-417, 8-122, 8-608, 9-258 FOR INFORMATION NOT SHOWN



SEE KEY NOTES 602, 6-416, 6-417, 6-731, 9-258 FOR INFORMATION NOT SHOWN



Existing 2nd Floor Plan - Demo 1/4" = 1'-0"



Existing 1st Floor Plan - Demo 1/4" = 1'-0"

Plumbing Notes

- 1. EFFECTIVE JAN. 26, 2016 RESIDENTIAL BUILDINGS UNDERGOING ADDITIONS, ALTERATION, OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANCE PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES PRIOR TO FINAL INSPECTION. THE REQUIREMENTS SHALL APPLY TO NEW FIXTURE IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING (PER 2013 CAL GREEN WITH JAN 20, 2016 ADOPTED SUPPLEMENT SECTIONS 301.1.1, 4.303.1.1 - 4.303.1.4.4 & 2013 CPC WITH JAN 1, 2016 SUPPLEMENT SECTIONS 403.0 - 403.8).

Plan Notes

- 6-02 FIRE DAMAGE FLOOR FRAMING TO BE REMOVED. ADJUST DIMENSIONS AS REQUIRED TO ALIGN TOP OF NEW FLOOR SHEATHING WITH TOP OF EXISTING FLOOR TO REMAIN EXISTING WORK TO REMAIN
- 6-05 EXISTING FIRE DAME STAIRS TO BE REMOVED AND REPLACED
- 6-192 EXISTING FLOOR JOISTS AND SHEATHING TO REMAIN, REPAIR AS NEEDED TO MATCH EXISTING
- 6-268 IN SHADED AREA PROVIDE AN ADDITIONAL 2 x 4 STUD ALONGSIDE EACH DAMAGED STUD SPIKED TOGETHER WITH 16d NAILS AT 8" ON CENTER
- 6-416 EXISTING 2 x SMOKE DAMAGED FRAMING TO REMAIN. CLEAN AS REQUIRED TO REMOVE SMOKE DAMAGE. CHARRED MEMBERS DEEPER THAN 1/8" SHALL BE REPLACED
- 6-417 EXISTING FIRE DAMAGE 2x WALL FRAMING TO BE REMOVED
- 6-418 EXISTING FIRE DAMAGE ROOF FRAMING AND ROOF SHEATHING TO BE REMOVED AND REPLACE WITH NEW ROOF TRUSSES AND NEW ROOF SHEATHING
- 6-654 SHADING TO INDICATE EXTENT OF FLOOR SHEATHING TO BE REMOVED AND REPLACED. PROVIDE 19/32" EXPOSURE I TONGUE AND GROOVE PLYWOOD (OR APA RATED OSB) FLOOR SHEATHING (PANEL INDEX 32/16). GLUE-NAIL WITH 10d DEFORMED SHANK NAILS AT 6" O/C EDGES AND 10" O/C FIELD. FLOOR DIAPHRAGM TO BE UNBLOCKED WITH NAILS SPACED 6" MAXIMUM AT SUPPORTED EDGES
- 6-731 EXISTING COMPOSITION ROOF SHINGLES AND FELT TO BE REMOVED AND REPLACED WITH NEW CLASS "A" 25 YEAR COMPOSITION ROOF SHINGLES (ICC ESR-1475) OVER ONE LAYER 15 LB. FELT. (ROOF SHALL BE INSTALLED WITH WIND TABS TO RESIST 80 MPH WINDS)
- 8-110 REMOVE EXISTING WALL AS REQUIRED TO ENLARGE EXISTING DRYWALL OPENING AS SHOWN. PATCH TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES.
- 8-122 EXISTING FIRE OR SMOKE DAMAGED DOOR AND FRAME TO BE REMOVED AND REPLACED WITH NEW DOOR AND FRAME TO MATCH EXISTING MATERIALS, COLORS AND FINISHES.
- 8-171 EXISTING DOOR TO BE REMOVED. FILL OPENING WITH 2 x 4 FRAMING AT 16" O/C AND FINISH TO MATCH EXISTING MATERIALS, COLORS, PATTERNS AND TEXTURES.
- 8-600 REMOVE EXISTING WALL AS REQUIRED TO INSTALL NEW WINDOW AS SHOWN. PATCH TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES.
- 8-602 EXISTING WINDOW TO BE REMOVED
- 8-608 EXISTING FIRE OR SMOKE DAMAGED WINDOW TO BE REMOVED AND REPLACED WITH NEW WINDOW TO MATCH EXISTING MATERIALS, COLORS AND FINISHES.
- 9-258 EXISTING FIRE DAMAGE GYPSUM BOARD CEILING TO BE REMOVED AS REQUIRED TO INSTALL NEW GYPSUM BOARD TO MATCH THICKNESS
- 10-53 EXISTING CHIMNEY TO BE REMOVED
- 15-102 EXISTING TUB AND SHOWER TO BE REMOVED. CAP WATER AND WASTE LINE INSIDE WALL OR BELOW SLAB AND PATCH AS REQUIRED TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES.
- 15-218 EXISTING WATER CLOSET TO BE REMOVED. ADJUST WASTE AND WATER LINES AS REQUIRED TO SERVE NEW WATER CLOSETS (SEE FLOOR PLAN)
- 15-229 EXISTING WALL-HUNG LAVATORY TO BE REMOVED AND REPLACED
- 16-06 EXISTING 60 AMP ELECTRICAL PANEL METER TO BE UPGRADED TO 200 AMP MAIN. (ELECTRICAL BUILDER TO BE REMOVED AND REPLACED FIRE DAMAGE WIRE PER CEC-2016)



EXISTING FIRE DAMAGE ROOF FRAMING AND SHEATHING TO BE REMOVED AND REPLACE (SEE PROPOSED ROOF PLAN FOR NEW LAYOUT)

No.	Description	Date

SFR Fire Damage Repair For:

Project: Monaco Realty 1027 6th St. Redlands, CA 92374

Sheet: EXISTING - DEMO FLOOR PLANS

Project number 17-0929

Date 10/07/2017

Drawn by AE

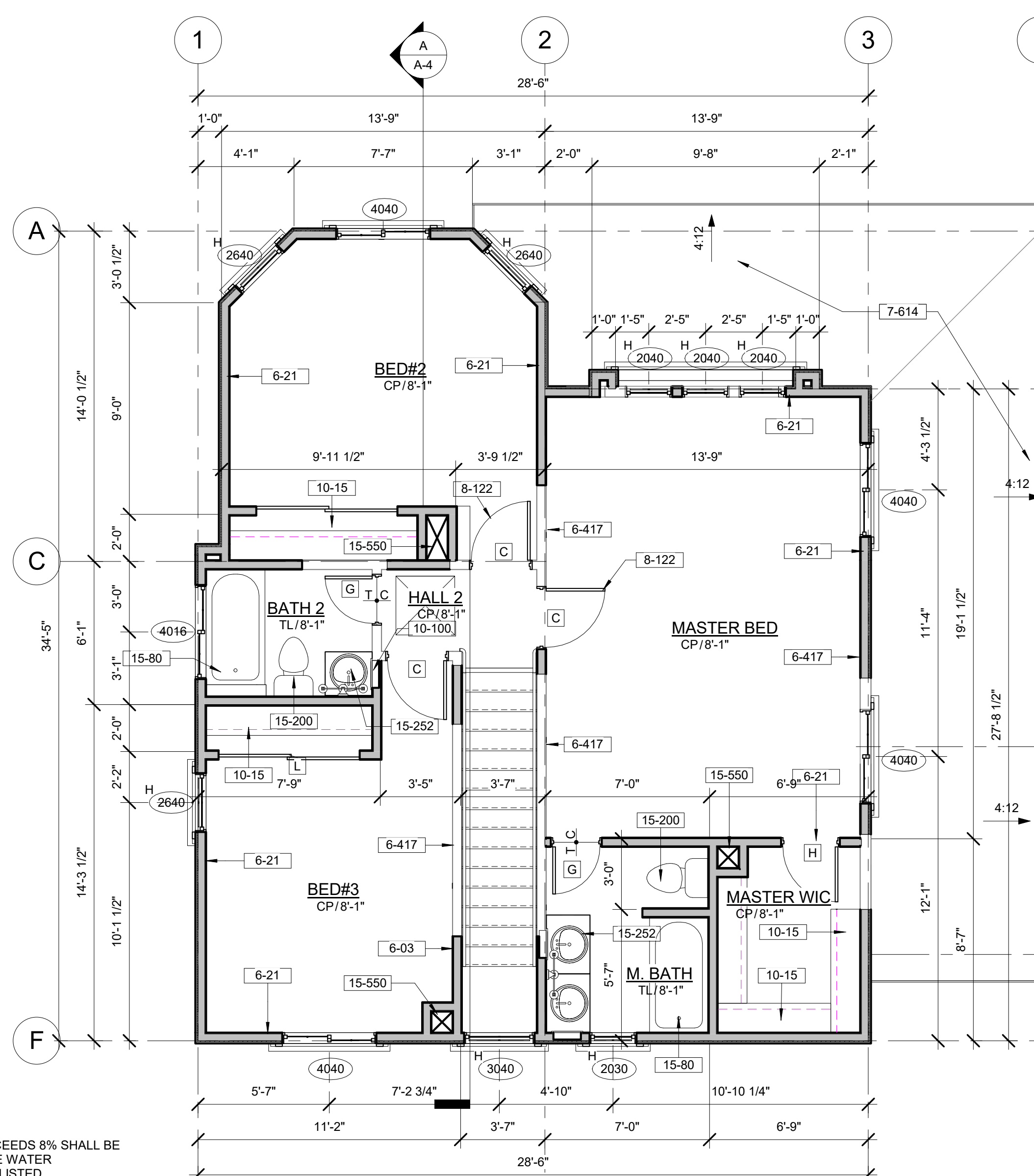
Checked by JM

A-2

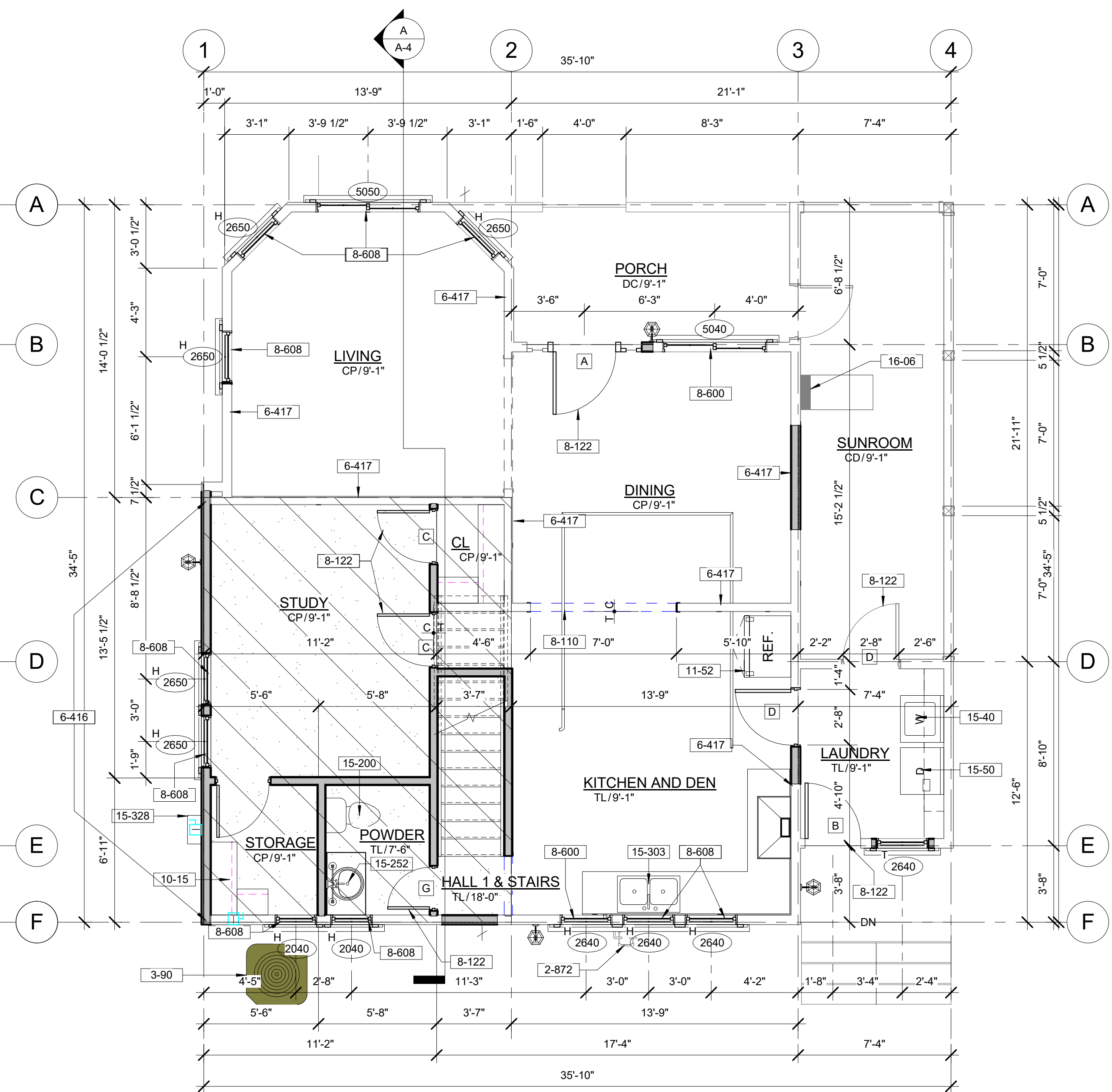
Scale 1/4" = 1'-0"

Plan Notes

- 2-872 EXISTING GAS METER TO REMAIN (PROTECT IN PLACE)
- 3-90 3'-0" SQUARE x 3'-1/2" THICK CONCRETE PAD FOR AIR CONDITIONING CONDENSER. EXTEND 3" MINIMUM ABOVE GROUND PER U.M.C.
- 6-03 ADJUST DIMENSIONS AS REQUIRED TO ALIGN FACE OF NEW WALL WITH FACE OF EXISTING WALL TO REMAIN
- 6-21 2 x 4 STUD FRAMING AT 16" O.C. PROVIDE CONTINUOUS SILL PLATE NAILING WITH (1) 16d AT 16" O/C
- 6-416 IN SHADED AREA PROVIDE AN ADDITIONAL 2 x 4 STUD ALONGSIDE EACH DAMAGED STUD SPIKED TOGETHER WITH 16d NAILS AT 8" ON CENTER
- 6-417 EXISTING 2 x SMOKE DAMAGED FRAMING TO REMAIN. CLEAN AS REQUIRED TO REMOVE SMOKE DAMAGE. CHARRED MEMBERS DEEPER THAN 1/8" SHALL BE REPLACED
- 7-614 EXISTING COMPOSITION ROOF SHINGLES AND FELT TO BE REMOVED AND REPLACED WITH NEW CLASS "A" 25 YEAR COMPOSITION ROOF SHINGLES (ICC ESR-1475) OVER ONE LAYER 15 LB. FELT. (ROOF SHALL BE INSTALLED WITH WIND TABS TO RESIST 80 MPH WINDS)
- 8-110 REMOVE EXISTING WALL AS REQUIRED TO ENLARGE EXISTING DRYWALL OPENING AS SHOWN. PATCH TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES.
- 8-122 EXISTING FIRE OR SMOKE DAMAGED DOOR AND FRAME TO BE REMOVED AND REPLACED WITH NEW DOOR AND FRAME TO MATCH EXISTING MATERIALS, COLORS AND FINISHES.
- 8-600 REMOVE EXISTING WALL AS REQUIRED TO INSTALL NEW WINDOW AS SHOWN. PATCH TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES.
- 8-608 EXISTING FIRE OR SMOKE DAMAGED WINDOW TO BE REMOVED AND REPLACED WITH NEW WINDOW TO MATCH EXISTING MATERIALS, COLORS AND FINISHES.
- 10-15 12" WIDE WOOD SHELF AND POLE AT +67" ABOVE FLOOR WITH METAL BRACKET SUPPORTS AT 36" O/C MAX
- 10-100 RECESSED MEDICINE CABINET (TOP AT +72" ABOVE FLOOR)
- 11-52 REFRIGERATOR SPACE (PROVIDE RECESSED SHUT-OFF IN PLASTIC BOX FOR ICE MAKER)
- 15-40 HOT AND COLD WATER SHUT-OFF IN RECESSED PLASTIC BOX FOR CLOTHES WASHER (CLOTHES WASHER IS NIC)
- 15-50 CLOTHES DRYER (NIC)
- 15-80 60" x 32" x 72" HIGH FIBERGLASS COMBINATION TUB/SHOWER UNIT. NO SLIP JOINT CONNECTIONS ARE PERMITTED IN WASTE LINE. SET SHOWER HEAD IN WALL AT +76" ABOVE FLOOR WITH METAL ESCUTCHEON. PROVIDE SHOWER CURTAIN ROD. SHOWERS & TUB/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER SEC. 420.0 2000 CPC.
- 15-200 TANK-TYPE WATER CLOSET (1.28 GALLONS PER FLUSH MAXIMUM)
- 15-252 NEW CERAMIC TILE TOP, 6" SPLASH AND END SPLASH (HINSET WITH "V-CAP" EDGE) WITH CHINA LAVATORY AND BASE CABINET BELOW
- 15-303 EXISTING KITCHEN SINK TO REMAIN
- 15-328 RESIDENTIAL TANKLESS GAS-FIRED HOT WATER FIXTURE ON WALL (16-1/2" W. x 24-1/2" H. x 8" D.) WITH 3/4" GAS AND WATER CONNECTION AND 4" DIAMETER "B" VENT ("TAKAGI FLASH T-K2") OR EQUAL. (888) 882-5244. VERIFY REQUIRED INPUT BTU RATE WITH OWNER.
- 15-550 DUCT SPACE (VERIFY EXACT SIZE IN FIELD)
- 16-06 EXISTING 60 AMP ELECTRICAL PANEL METER TO BE UPGRADED TO 200 AMP MAIN. (ELECTRICAL BUILDER TO BE REMOVED AND REPLACED FIRE DAMAGE WIRE PER CEC-2016)



2nd Floor Plan
1/4" = 1'-0"



1st Floor Plan
1/4" = 1'-0"

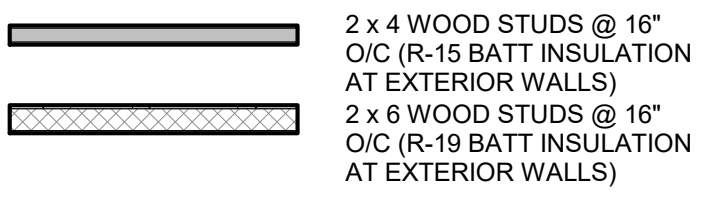
Water Notes

1. "WATER PIPE AND FITTINGS WITH A LEAD CONTENT WHICH EXCEEDS 8% SHALL BE PROHIBITED AND REPLACED IN SYSTEMS CONVEYING POTABLE WATER
2. ALL FIXTURES, EQUIPMENT, PIPING, AND MATERIALS SHALL BE LISTED
3. ALL PLUMBING FIXTURES SHALL MEET THE FLOW REQUIREMENTS SPECIFIED IN THE CALIFORNIA GREEN BUILDING CODE.
4. THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1 AS FOLLOWS:
5. WATER CLOSETS 1.28 GAL. PER FLUSH
6. SHOWER HEAD 2.0 GAL. PER MIN. AT 80 PSI
7. FAUCETS 1.6 GAL. PER MIN. AT 60 PSI MAX. 0.8 GAL. PER MIN. AT 20 PSI MIN.
8. PLUMBING CONTRACTOR SHALL MAKE EVERY EFFORT TO GANG VENTS IN THE ATTIC TO MINIMIZE ROOF PENETRATIONS. OFFSET VENTS TO REAR OF HOUSE AS MUCH AS POSSIBLE.

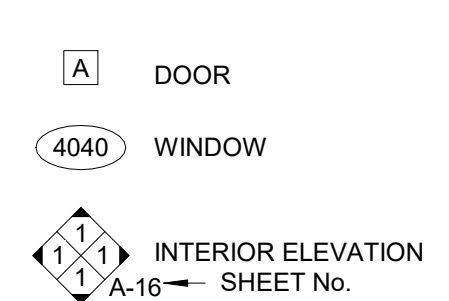
Door Schedule										
Type	Mark	Material	Finish	Width	Height	Thickness	Glass	Material	Finish	Comments
1FP	A	SC	PT	3'-0"	7'-0"	1 3/4"		WDF	PT	1, 3
	B	SC	PT	2'-8"	6'-8"	1 3/4"	TEMP.	WDF	PT	2
	C	HWD	PT	2'-6"	6'-8"	1 3/8"		WDF	PT	
	C	HWD	PT	2'-6"	6'-8"	1 3/8"		WDF	PT	
	C	HWD	PT	2'-6"	6'-8"	1 3/8"		WDF	PT	
	D	SC	PT	2'-8"	6'-8"	1 3/4"		WDF	PT	
	D	SC	PT	2'-8"	6'-8"	1 3/4"		WDF	PT	
	G	HWD	PT	2'-6"	6'-8"	1 3/8"		WDF	PT	
	C	HWD	PT	2'-6"	6'-8"	1 3/8"		WDF	PT	
	C	HWD	PT	2'-6"	6'-8"	1 3/8"		WDF	PT	
	G	HWD	PT	2'-0"	6'-8"	1 3/8"		WDF	PT	
	H	HWD	PT	2'-4"	6'-8"	1 3/8"		WDF	PT	
	L	AL	MR	6'-0"	7'-0"	1 3/8"	TEMP.	WDF	PT	
	L	AL	MR	6'-0"	7'-0"	1 3/8"	TEMP.	WDF	PT	

Door Finish Abbreviation	
Abbrev.	Description
AL	ALUMINUM
GL	GLASS
HC	HOLLOW CORE WOOD
HM	HOLLOW METAL
INT	INTEGRAL
MR	MIRROR
MTL	METAL
PF	PREFINISHED
PL	PLASTIC LAMINATE
PS	PRESSED STEEL (TIMELY)
PT	PRIME AND PAINT
RFP	READY FOR PAINT
SC	SOLID CORE
T	TEMPERED
WD	WOOD
WDF	WOOD FRAME

Wall Legend



Symbol Legend



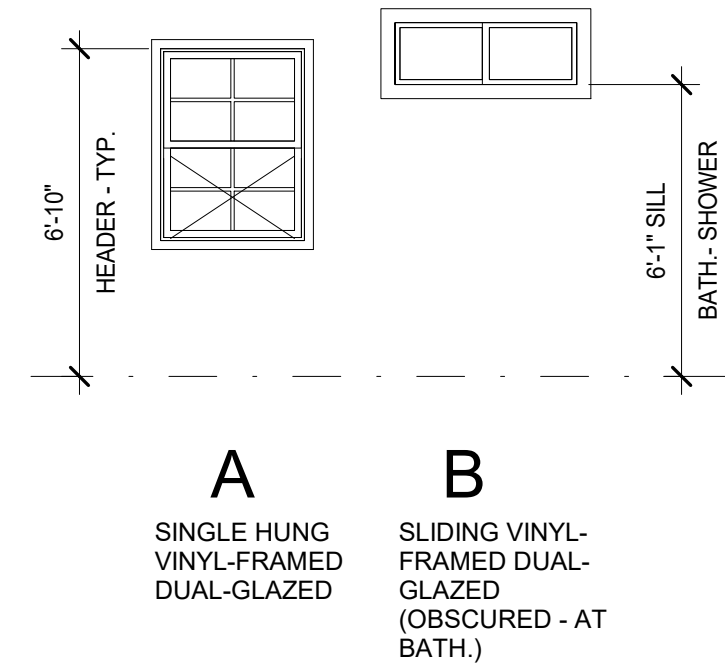
Room Finish Abbreviation

Abbreviation	Description
CON	CONCRETE
CP	CARPET
DC	DECK COATING
E-SD	EXISTING SIDING TO BE REPAIRED MATCHING EXISTING TEXTURE AND MATERIAL
EC	EXPOSED CONSTRUCTION
GB	GYPSON BOARD
GB-N	NEW GYPSON BOARD
GB-WR	WATER RESISTANT GYPSON BOARD (PROVIDE CEILING FRAMING AT 12" O.C. WHERE WATER RESISTANT GYPSON WALL BOARD IS USED FOR CEILING APPLICATIONS)
INT	INTEGRAL
PT	PAINT AND SEAL
SEAL	CLEAR CONCRETE FLOOR SEALER
ST	EXTERIOR CEMENT PLASTER
SV	SHEET VINYL
TL	CERAMIC TILE
WBB	WOOD BASE BOARD
WD	WOOD FLOORING

Room Finish Schedule									
Rooms	Base	Floor		Walls		Ceilings			
Name	Height	Material	Material	Finish	Material	Finish	Material	Finish	Ceiling Height
1FP									
CL	4"	WBB	CP	INT	GB-N	PT	GB-N	PT	9'-1"
DINING	4"	WBB	CP	INT	GB-N	PT	GB-N	PT	9'-1"
HALL 1 & STAIRS	4"	WBB	TL	INT	GB-N	PT	-	PT	18'-0"
KITCHEN AND DEN	4"	WBB	TL	INT	GB-N	PT	GB-N	PT	9'-1"
LAUNDRY	4"	WBB	TL	INT	GB	PT	GB	PT	9'-1"
LIVING	4"	WBB	CP	INT	GB-N	PT	GB-N	PT	9'-1"
PORCH	-		DC	INT	E-SD	PT	(E) ST	PT	9'-1"
POWDER	4"	WBB	TL	INT	GB-WP	PT	GB-N	PT	7'-6"
STORAGE	4"	WBB	CP	INT	GB-N	PT	GB-N	PT	9'-1"
STUDY	4"	WBB	CP	INT	GB-N	PT	GB-N	PT	9'-1"
SUNROOM	4"	WBB	CD	INT	E-SD	PT	(E)	PT	9'-1"
2FP									
BATH 2	4"	INT	TL	INT	GB-WP	PT	GB-WR	PT	8'-1"
BED#2	4"	WBB	CP	INT	GB	PT	GB	PT	8'-1"
BED#3	4"	WBB	CP	INT	GB	PT	GB	PT	8'-1"
HALL 2	4"	WBB	CP	INT	GB	PT	GB	PT	8'-1"
M. BATH	4"	INT	TL	INT	GB-WP	PT	GB-WR	PT	8'-1"
MASTER BED	4"	WBB	CP	INT	GB	PT	GB	PT	8'-1"
MASTER WIC	4"	WBB	CP	INT	GB	PT	GB	PT	8'-1"

Room Finish Notes

- GENERAL NOTES:**
1. 1/2" GYPSON BOARD ON WALLS & 1/2" SAG-RESISTANT GYPSON BOARD ON CEILINGS TO RECEIVE KNOCK-DOWN TEXTURE WITH TWO COATS LATEX FLAT ENAMEL
 2. FLOOR MATERIAL CHANGES TO OCCUR IN CENTER OF DOOR WHEN IN A CLOSED POSITION
 3. ALL CORNERS TO BE BULLNOSED



Window Schedule				
Mark	Type	Width	Height	Comments
1FP				
2040	A	2'-0"	4'-0"	H
2640	A	2'-6"	4'-0"	H
2640	A	2'-6"	4'-0"	T
2650	A	2'-6"	5'-0"	H
5040	B	5'-0"	4'-0"	
5050	B	5'-0"	5'-0"	
2FP				
2030	A	2'-0"	3'-0"	H
2040	A	2'-0"	4'-0"	H
2640	A	2'-6"	4'-0"	H
3040	A	3'-0"	4'-0"	H
4016	B	4'-0"	1'-6"	
4040	B	4'-0"	4'-0"	

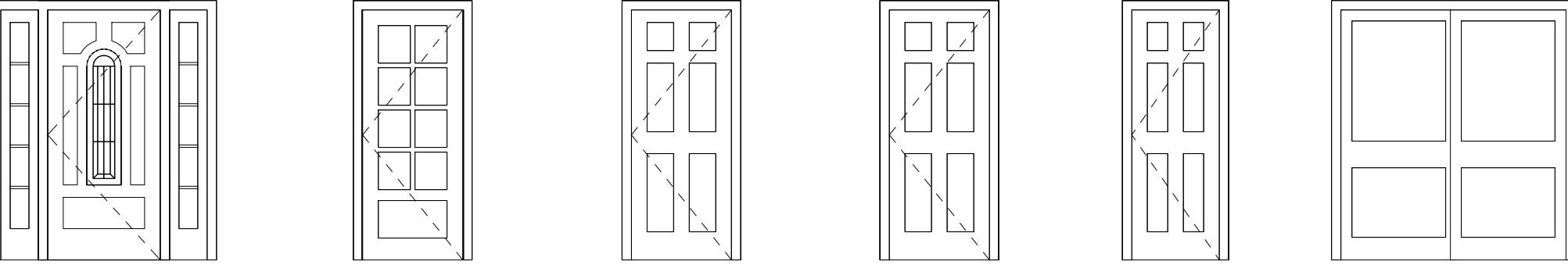
Window Types

WINDOW GENERAL NOTES:

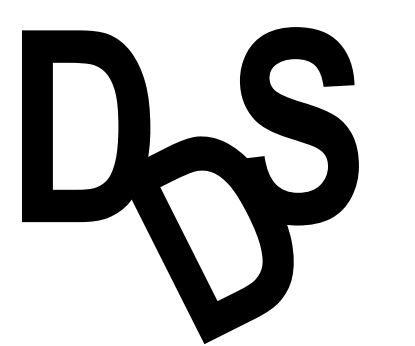
- A. WINDOWS TO BE INSTALLED WITH MOISTPROOF 12" WIDE FLASHING AND CAULK WITH SILICONE SEALANT. WINDOW FRAMES TO HAVE WHITE FINISH.
- B. HEADER HEIGHT IS 6'-10" ABOVE FLOOR. (UON)
- C. PROVIDE SAFETY GLAZING OR TEMPERED GLASS IN HAZAROUS LOCATIONS PER CBC 2406.3 SUCH AS GLAZING IN FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN THE CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. A PERMANENT LABER PER CBC 2406.2 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING. ALL WINDOWS IN CONDITIONED ROOMS TO HAVE CLEAR DUAL GLAZING (U=0.39 MAX. & SHGC=0.37 MILGARD VINYL OR EQUAL) (U.O.N.) ALL WINDOWS IN UNCONDITIONED AREAS TO HAVE CLEAR SINGLE GLAZING. PROVIDE BLINDS FOR ALL EXTERIOR AND INTERIOR WINDOWS
- D.
- E.

Door Legend

1/4" = 1'-0"



- A** PRE-HUNG SOLID CORE METAL CLAD DOOR WITH WOOD FRAME. METAL THRESHOLD AND DEAD BOLT WITH 1" THROW
- B** DOUG FIR FRENCH DOOR W/ 5/8" INSULATED CLEAR TEMPERED GLASS, THRESHOLD & WEATHERSTRIPPING. PROVIDE LOCKSET AND DEAD BOLT
- C** PRE-HUNG HOLLOW CORE WOOD SLAB DOOR (PROVIDE PRIVACY LOCK AT MASTER BEDROOM DOOR)
- D** PRE-HUNG SOLID CORE WOOD DOOR WITH WOOD FRAME, AND DEAD BOLT WITH 1" THROW
- G, H** PRE-HUNG HOLLOW CORE WOOD SLAB DOOR (PROVIDE PRIVACY LOCK AT BATHROOM DOOR)
- L** PAIR OF BI-PASS HOLLOW CORE WOOD CLOSET DOORS

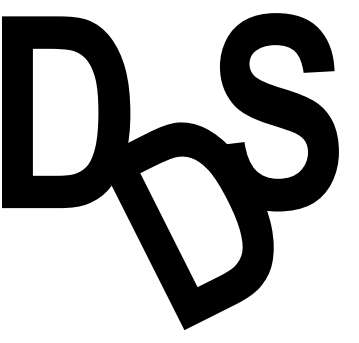


Drafting Design Service
Javier Montes
 Additions, New Homes, Tract Developments, Commercial Building
 25549 Date St. E. San Bernardino, CA 92404
 (323) 987-3398

No.	Description	Date

SFR Fire Damage Repair For:
 Monaco Realty 1027 6th St. Redlands, CA 92374
 Project number 17-0929
 Date 10/07/2017
 Drawn by MC
 Checked by JM
A-3
 Scale 1/4" = 1'-0"

FLOOR PLAN SCHEDULE & NOTES



Drafting Design Service

Javier Montes

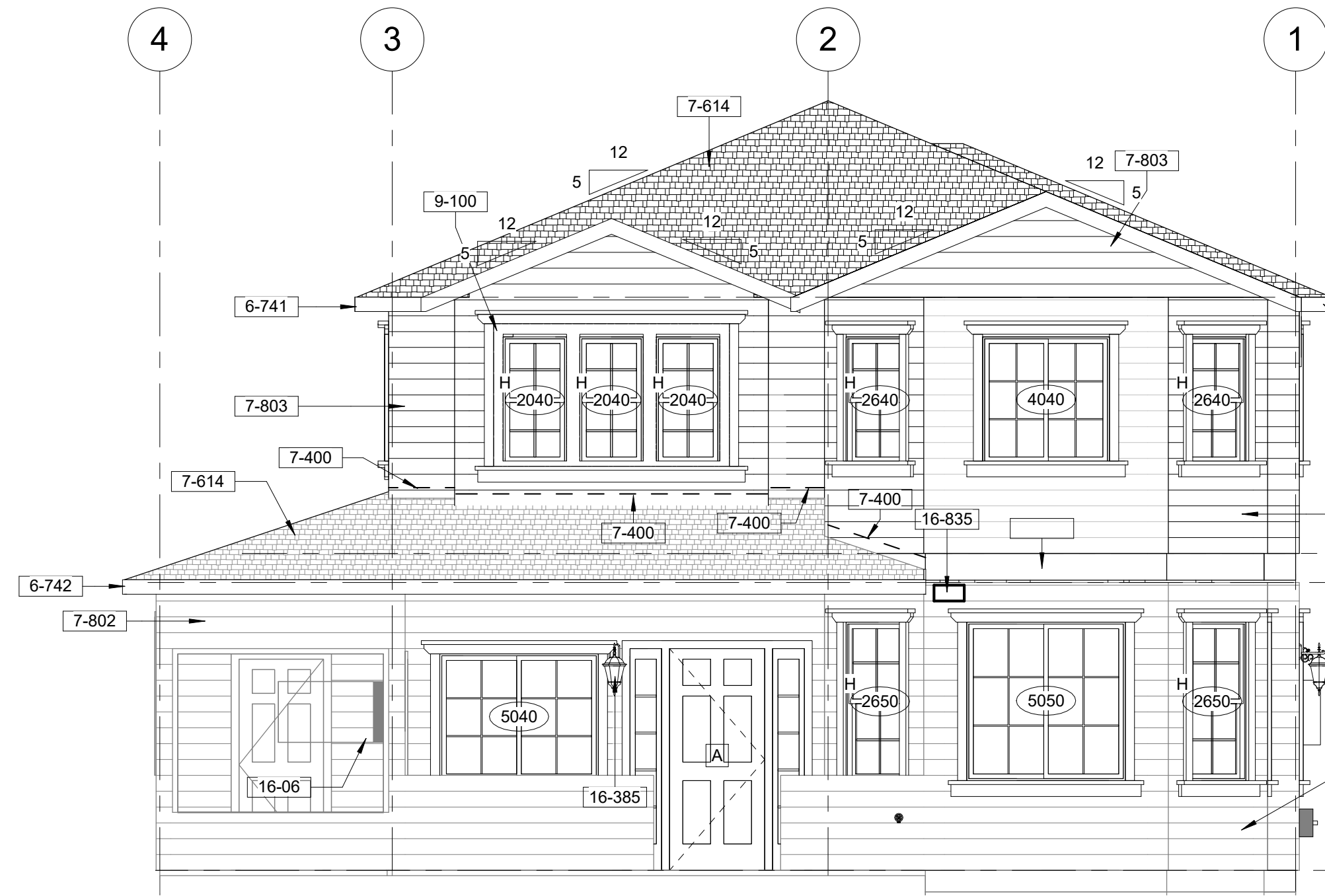
Additions, New Homes, Tract Developments, Commercial Building

25549 Date St E, San Bernardino, CA 92404

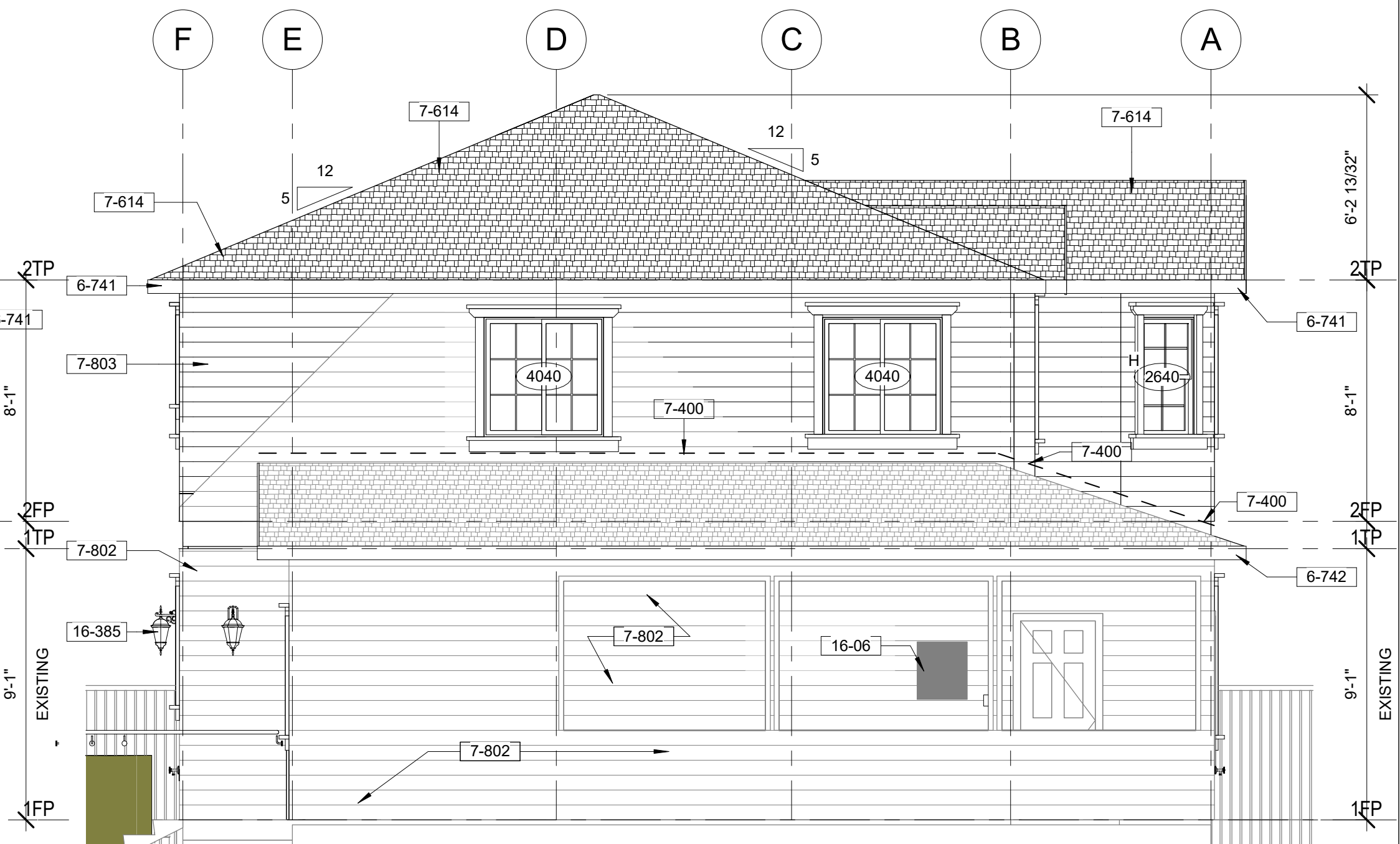
(323) 997-3398

Plan Notes

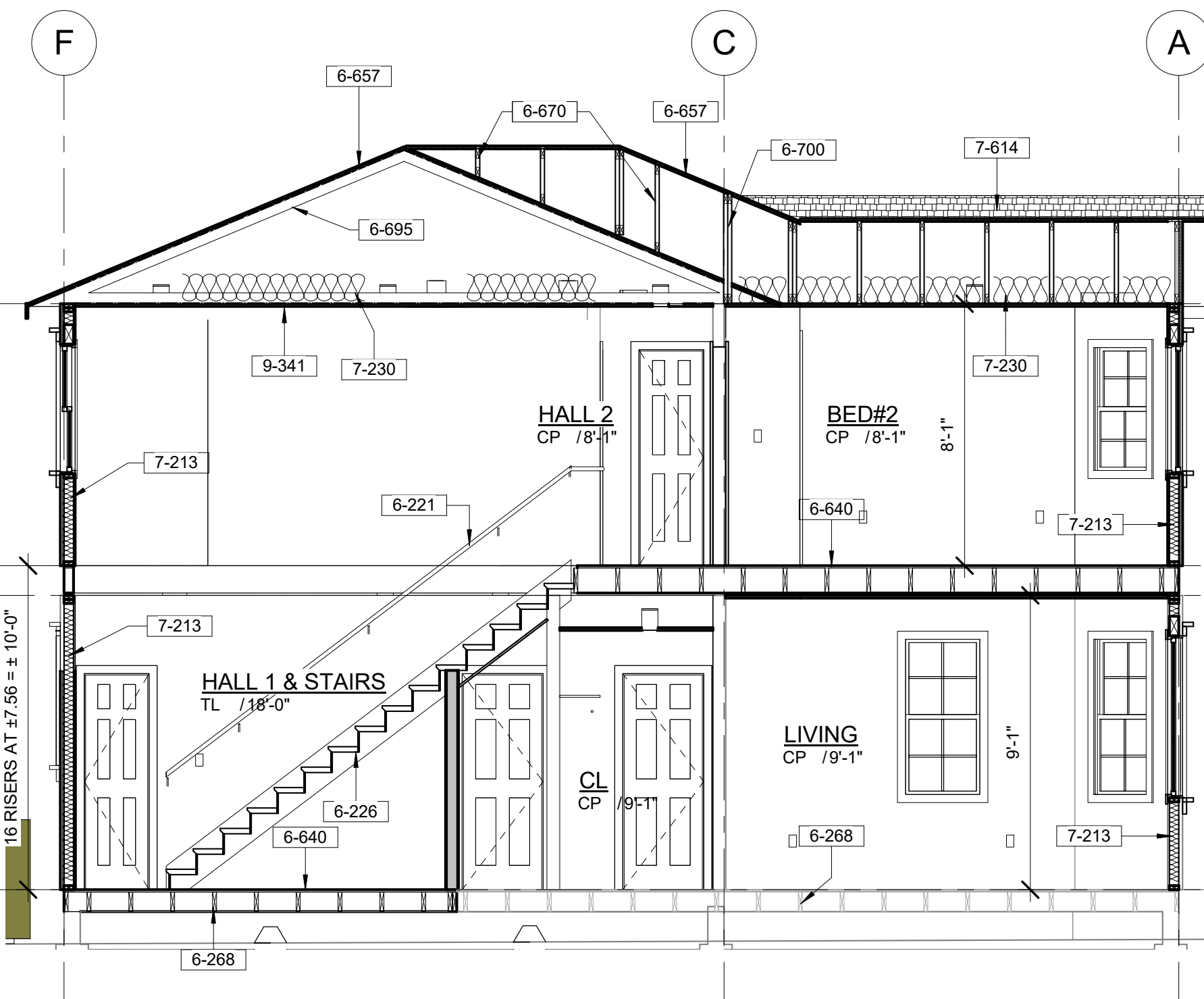
- 6-05 EXISTING WORK TO REMAIN
- 6-15 EXISTING WORK TO BE REMOVED. PROVIDE ADEQUATE TEMPORARY SUPPORT OF EXISTING STRUCTURE AT ALL TIMES.
- 6-121 EXISTING 14" x 6" SCREENED FOUNDATION VENT TO BE REMOVED. REPLACE WITH NEW 14" x 6" SCREENED FOUNDATION VENT "HARLEN FV2-614" ON ADJACENT WALL AS SHOWN (SEE ELEVATIONS)
- 6-221 FOUR (4) 2 x 14 DOUG FIR #2 OR BETTER STAIR STRINGERS WITH 2 x 4 CONTINUOUS SPACER AGAINST WALL
- 6-226 EXISTING FLOOR JOISTS AND SHEATHING TO REMAIN, REPAIR AS NEEDED TO MATCH EXISTING
- 6-640 19/32" EXPOSURE 1 TONGUE AND GROOVE PLYWOOD (OR APA RATED OSB) FLOOR SHEATHING (PANEL INDEX 32/16). GLUE-NAIL WITH 10d DEFORMED SHANK NAILS AT 6" O/C EDGES AND 10" O/C FIELD. FLOOR DIAPHRAGM TO BE UNBLOCKED WITH NAILS SPACED 6" MAXIMUM AT SUPPORTED EDGES
- 6-654 EXISTING FIRE DAMAGE ROOF FRAMING AND ROOF SHEATHING TO BE REMOVED AND REPLACE WITH NEW ROOF TRUSSES AND NEW ROOF SHEATHING
- 6-657 15/32" APA RATED OSB FOIL-FACED ("LUMINOX" OR EQUAL, FOIL SIDE DOWN) ROOF SHEATHING (I.C.B.O REPORT NO. NER 124) 32/16 SPAN RATING EXTERIOR GLUE LAY PERPENDICULAR WITH RAFTERS AND NAIL WITH 8d NAILS AT 6" O/C EDGES AND BOUNDARY AND 12" O/C IN FIELD. INCLUDE FOIL-FACED SHEATHING AT ALL VERTICAL WALLS AT GABLED ENDS
- 6-670 CALIFORNIA FRAMING OVER SOLID SHEATHING (2 x 6 DOUG FIR #2 OR BETTER RAFTERS AT 24" O/C - 10'-0" MAX. SPAN) PROVIDE 2 x 6 FLAT SLEEPER BENEATH "CALIFORNIA" FRAMING AND ON TOP OF ROOF SHEATHING WITH (3) 16d NAILS TO EACH RAFTER BELOW
- 6-695 FLAT BOTTOM ENGINEERED ROOF TRUSSES AT 24" O/C
- 6-700 GIRDER TRUSS (PROVIDE DOUBLE 2 x 4 STUDS EACH END - TYPICAL UON) (DOUBLE TRUSS IF REQUIRED - SEE TRUSS MANUFACTURER'S CALCULATIONS FOR EXACT REQUIREMENTS)
- 6-741 ALL NEW FASCIA BOARD TO MATCH EXISTING (COLOR, MATERIAL, TEXTURE)
- 6-742 REPLACE EXISTING FIRE DAMAGE FASCIA WITH NEW FASCIA BOARD TO MATCH EXISTING (COLOR, TEXTURE AND MATERIAL)
- 7-213 R-13 FIBERGLASS BATT INSULATION TYPICAL AT ALL EXTERIOR WALLS
- 7-230 R-30 FIBERGLASS BATT INSULATION
- 7-400 CONTINUOUS 24 GAUGE ROOF/WALL FLASHING (TYPICAL). ROOF FLASHING MATERIALS AND INSTALLATION MUST COMPLY WITH THE PROVISIONS OF CBC SECTIONS 1508 & 1509.
- 7-614 EXISTING COMPOSITION ROOF SHINGLES AND FELT TO BE REMOVED AND REPLACED WITH NEW CLASS "A" 25 YEAR COMPOSITION ROOF SHINGLES (ICC ESR-1475) OVER ONE LAYER 15 LB. FELT. (ROOF SHALL BE INSTALLED WITH WIND TABS TO RESIST 80 MPH WINDS)
- 7-802 EXISTING WOOD SHINGLE SIDING TO REMAIN (REPAIR AS NEEDED PER FIRE DAMAGE)
- 7-803 NEW WOOD SHINGLE SIDING OVER ONE LAYER 15 LB. FELT TO MATCH EXISTING PATTERN, COLOR AND TEXTURE
- 8-122 EXISTING FIRE OR SMOKE DAMAGED DOOR AND FRAME TO BE REMOVED AND REPLACED WITH NEW DOOR AND FRAME TO MATCH EXISTING MATERIALS, COLORS AND FINISHES.
- 8-602 EXISTING WINDOW TO BE REMOVED
- 8-608 EXISTING FIRE OR SMOKE DAMAGED WINDOW TO BE REMOVED AND REPLACED WITH NEW WINDOW TO MATCH EXISTING MATERIALS, COLORS AND FINISHES.
- 9-100 7/8" EXTERIOR CEMENT PLASTER WITH PAPER-BACKED WOVEN WIRE FABRIC LATH (3 COATS MINIMUM). PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL PLYWOOD SHEAR PANEL (USE HIGH RIB LATH AT HORIZONTAL APPLICATIONS)
- 9-341 PATCH AND REPAIR ALL CEILING AREAS WHERE WALLS WERE REMOVED AND ADDED WITH NEW 5/8" TYPE "X" GYPSUM BOARD TO MATCH EXISTING COLORS, TEXTURES AND PATTERNS.
- 16-06 EXISTING 60 AMP ELECTRICAL PANEL METER TO BE UPGRADED TO 200 AMP MAIN. (ELECTRICAL BUILDER TO BE REMOVED AND REPLACED FIRE DAMAGE WIRE PER CEC-2016)
- 16-385 SURFACE MOUNTED FLUORESCENT / LED LIGHT (+84" UON) WITH MOTIO DETECTION
- 16-835 ILLUMINATED ADDRESS LIGHT AT +84" ABOVE FLOOR LINE (UON) PER CITY STANDARD WITH 4" HIGH MINIMUM HEIGHT NUMBERS ON CONTRASTING BACKGROUND AND ILLUMINATED AT ALL HOURS OF DARKNESS



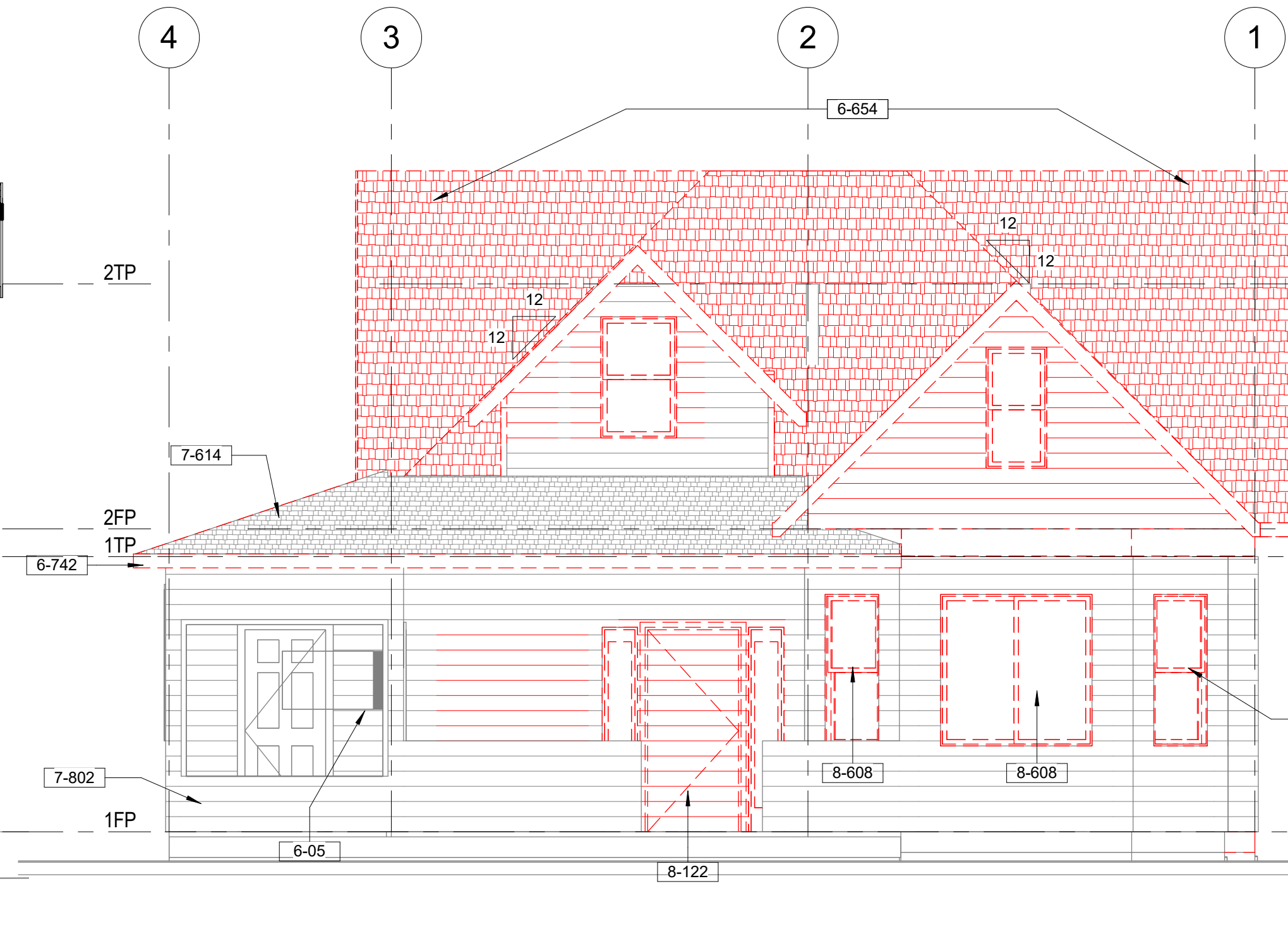
Proposed North - Front Elevation
1/4" = 1'-0"



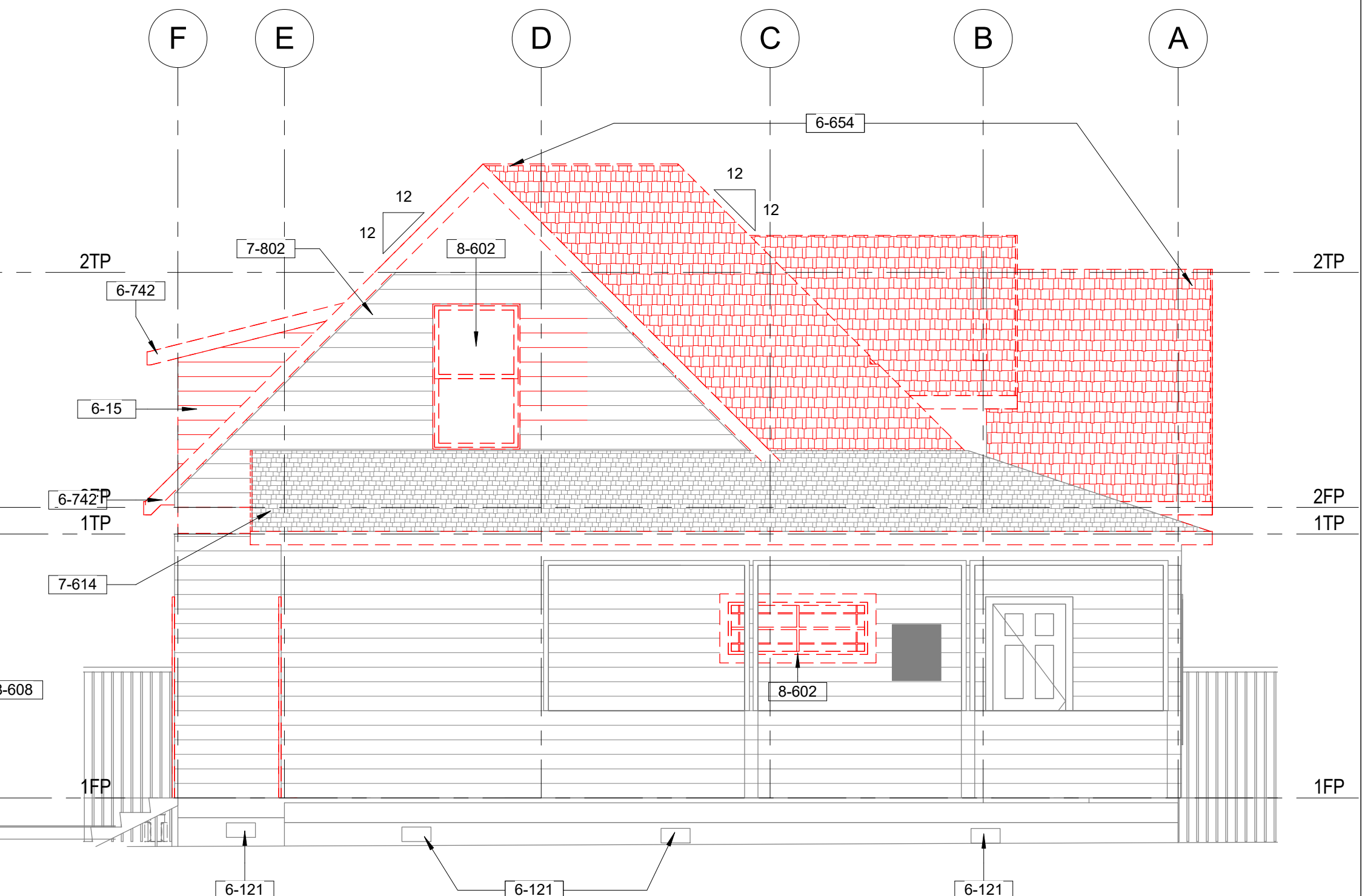
Proposed East - Left Elevation
1/4" = 1'-0"



Proposed - Section A
1/4" = 1'-0"



Existing North - Front Elevation
1/4" = 1'-0"



Existing East - Left Elevation
1/4" = 1'-0"

No.	Description	Date

SFR Fire Damage Repair For:

Project: Monaco Realty 1027 6th St. Redlands, CA 92374

Owner: Monaco Realty 1027 6th St. Redlands, CA 92374

Project number 17-0929

Date 10/07/2017

Drawn by AE

Checked by JM

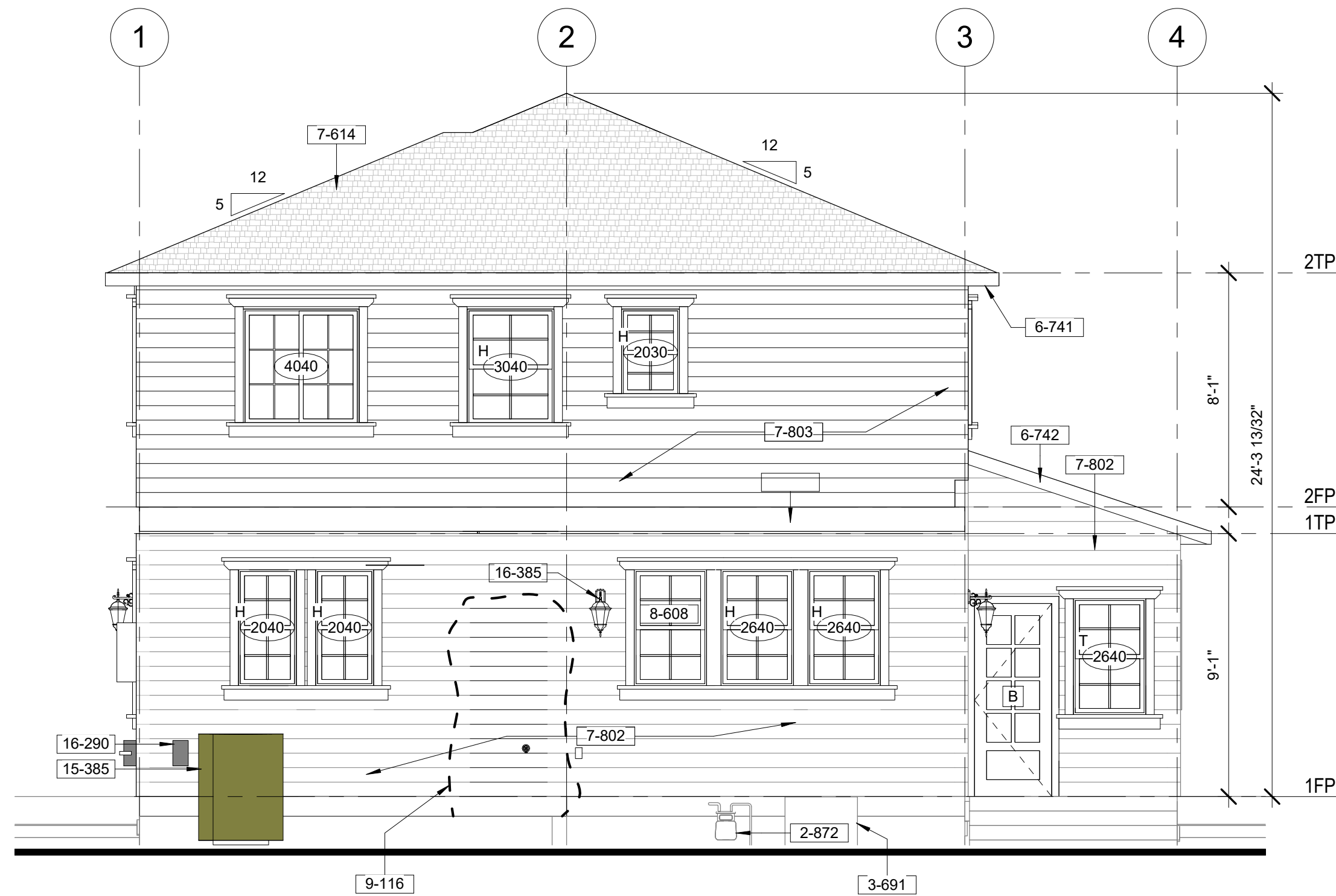
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Scale 1/4" = 1'-0"

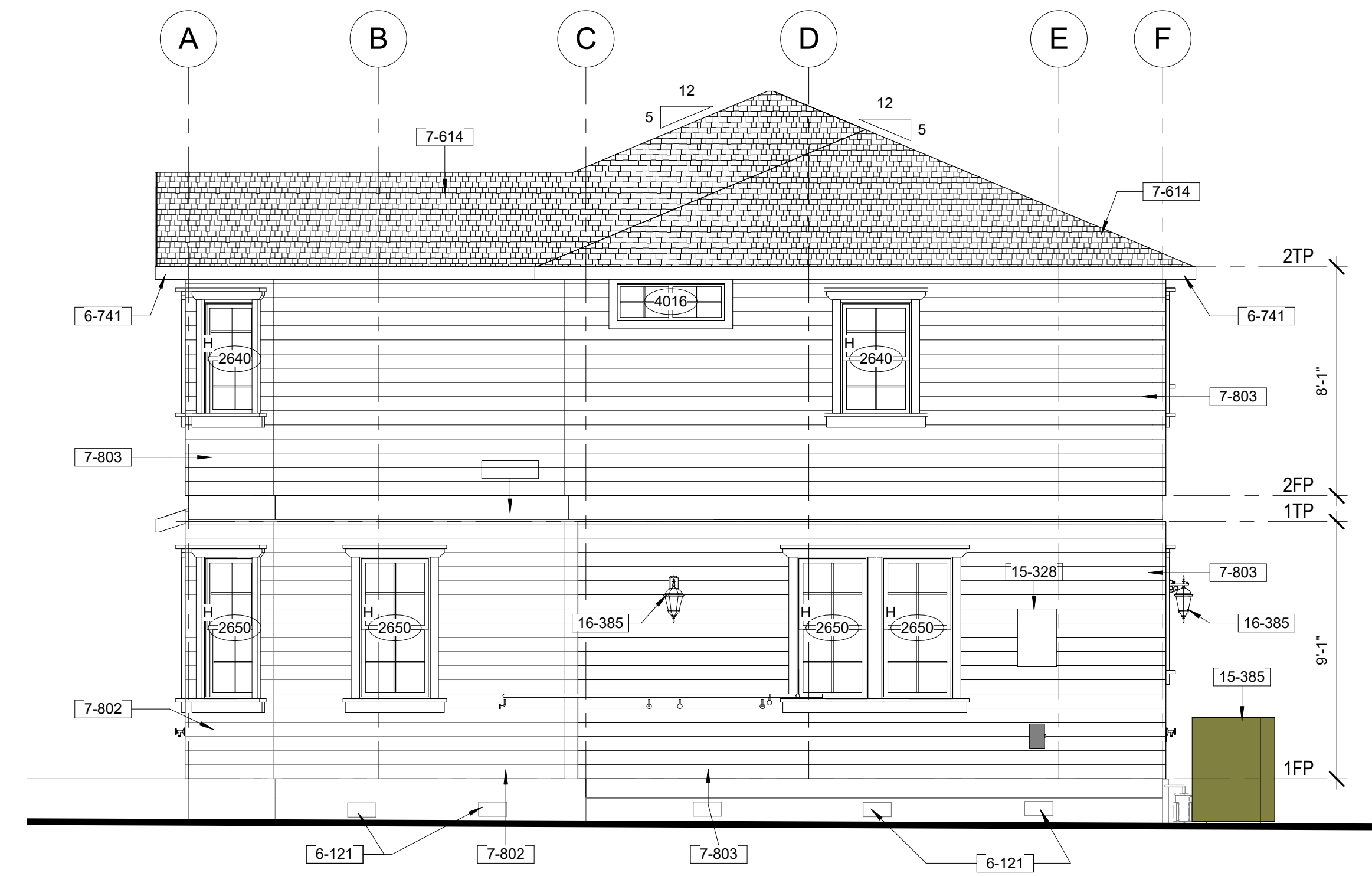
SECTION & ELEVATIONS

Plan Notes

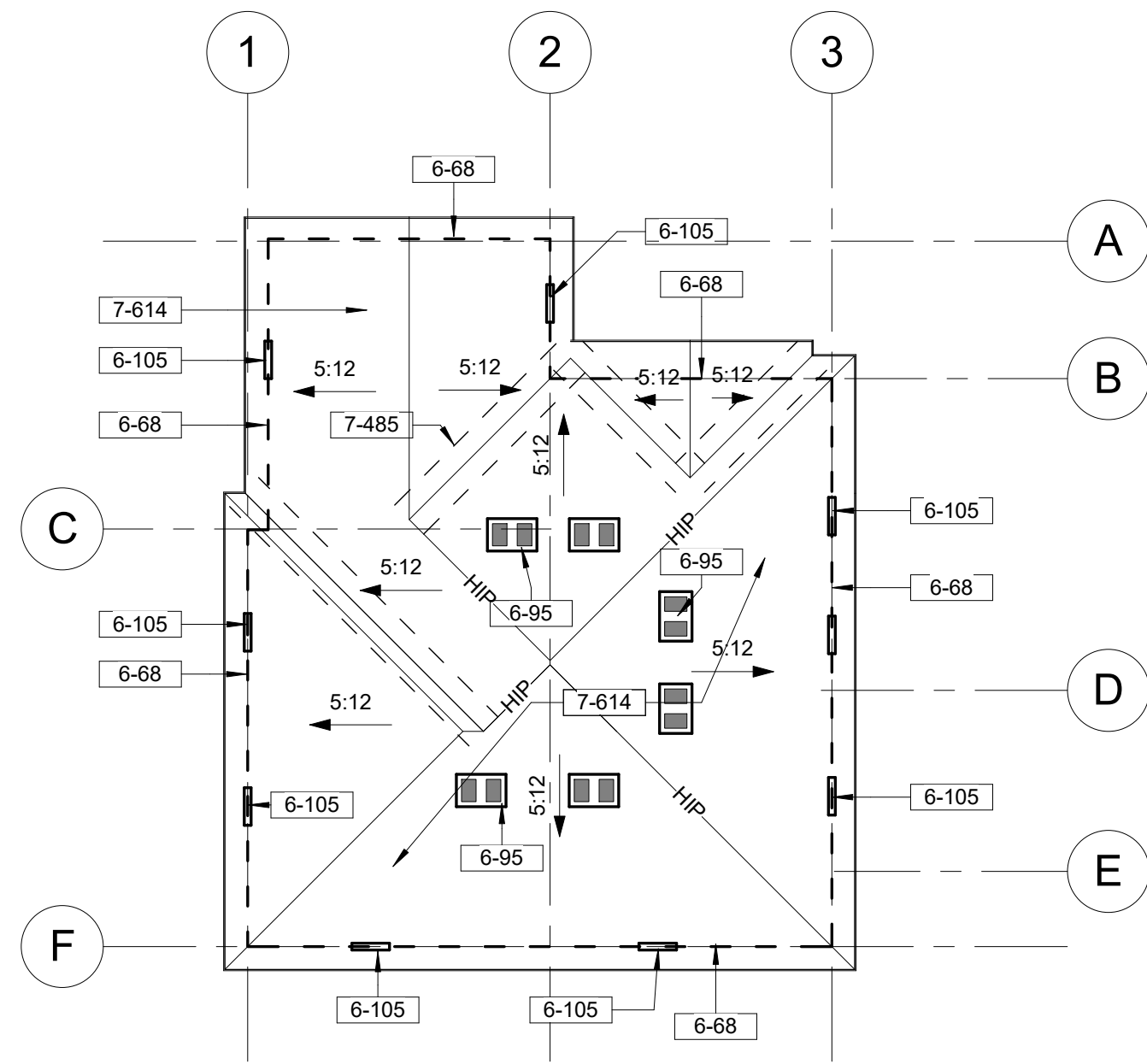
- 2-872 EXISTING GAS METER TO REMAIN (PROTECT IN PLACE)
- 3-187 EXISTING CONCRETE FOOTING TO REMAIN
- 3-691 EXISTING 30" WIDE x 20" HIGH ACCESS TO CRAWLSPACE UNDER HOUSE TO REMAIN
- 6-15 EXISTING WORK TO BE REMOVED. PROVIDE ADEQUATE TEMPORARY SUPPORT OF EXISTING STRUCTURE AT ALL TIMES.
- 6-68 LINE OF WALL BELOW
- 6-95 O'HAGIN CLOAKED VENT (MODEL "M" FOR LOW PROFILE, AND MODEL "FLAT" FOR SHINGLES.) WITH 1/4" GALVANIZED MESH SCREEN AT OPENING (O'HAGINS 1 (800) 394-3864)
- 6-105 22" x 3" RAFTER VENT. GALVANIZED STEEL BACKED WITH 1/4" MESH GALVANIZED HARDWARE CLOTH. ("HARLEN" RV 322 - OR EQUAL)
- 6-121 EXISTING 14" x 6" SCREENED FOUNDATION VENT TO BE REMOVED. REPLACE WITH NEW 14" x 6" SCREENED FOUNDATION VENT "HARLEN FV2-614" ON ADJACENT WALL AS SHOWN (SEE ELEVATIONS)
- 6-654 EXISTING FIRE DAMAGE ROOF FRAMING AND ROOF SHEATHING TO BE REMOVED AND REPLACE WITH NEW ROOF TRUSSES AND NEW ROOF SHEATHING
- 6-741 ALL NEW FASCIA BOARD TO MATCH EXISTING (COLOR, MATERIAL, TEXTURE)
- 6-742 REPLACE EXISTING FIRE DAMAGE FASCIA WITH NEW FASCIA BOARD TO MATCH EXISTING (COLOR, TEXTURE AND MATERIAL)
- 7-485 24" WIDE GALVANIZED VALLEY METAL (26 GAUGE) WITH 1" HIGH SPLASH DIVERTER RIB AT CENTER FLOW LINE
- 7-614 EXISTING COMPOSITION ROOF SHINGLES AND FELT TO BE REMOVED AND REPLACED WITH NEW CLASS "A" 25 YEAR COMPOSITION ROOF SHINGLES (ICC ESR-1475) OVER ONE LAYER 15 LB. FELT. (ROOF SHALL BE INSTALLED WITH WIND TABS TO RESIST 80 MPH WINDS)
- 7-802 EXISTING WOOD SHINGLE SIDING TO REMAIN (REPAIR AS NEEDED PER FIRE DAMAGE)
- 7-803 NEW WOOD SIDING OVER ONE LAYER 15 LB. FELT TO MATCH EXISTING PATTERN, COLOR AND TEXTURE
- 8-107 REMOVE EXISTING DOOR AND PATCH TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES.
- 8-122 EXISTING FIRE OR SMOKE DAMAGED DOOR AND FRAME TO BE REMOVED AND REPLACED WITH NEW DOOR AND FRAME TO MATCH EXISTING MATERIALS, COLORS AND FINISHES.
- 8-602 EXISTING WINDOW TO BE REMOVED
- 8-608 EXISTING FIRE OR SMOKE DAMAGED WINDOW TO BE REMOVED AND REPLACED WITH NEW WINDOW TO MATCH EXISTING MATERIALS, COLORS AND FINISHES.
- 9-116 REMOVE EXISTING SIDING AS REQUIRED TO INSTALL NEW WORK AS INDICATED. PATCH WITH MATCHING MATERIALS, COLORS AND TEXTURES
- 15-328 RESIDENTIAL TANKLESS GAS-FIRED HOT WATER FIXTURE ON WALL (16-1/2" W. x 24-1/2" H. x 8" D.) WITH 3/4" GAS AND WATER CONNECTION AND 4" DIAMETER "B" VENT (TAKAGI FLASH T-K27) OR EQUAL. (888) 882-5244. VERIFY REQUIRED INPUT BTU RATE WITH OWNER.
- 15-385 PROVIDE 3/4" DIAMETER SCHEDULE 40 PVC CONDENSATE LINE FROM FAU PLATFORM TO ADJACENT WASTE AND VENT RISER IN THE ATTIC AND A SECONDARY 3/4" DIAMETER OVERFLOW LINE TO OUTSIDE ABOVE A WINDOW
- 16-290 220 V. DISCONNECT SWITCH (VERIFY CONDUCTOR SIZE AND FUSING WITH LOCAL CODES)
- 16-385 SURFACE MOUNTED FLUORESCENT / LED LIGHT (+84" UON) WITH MOTIO DETECTION



Proposed South - Rear Elevation
1/4" = 1'-0"



Proposed West - Right Elevation
1/4" = 1'-0"



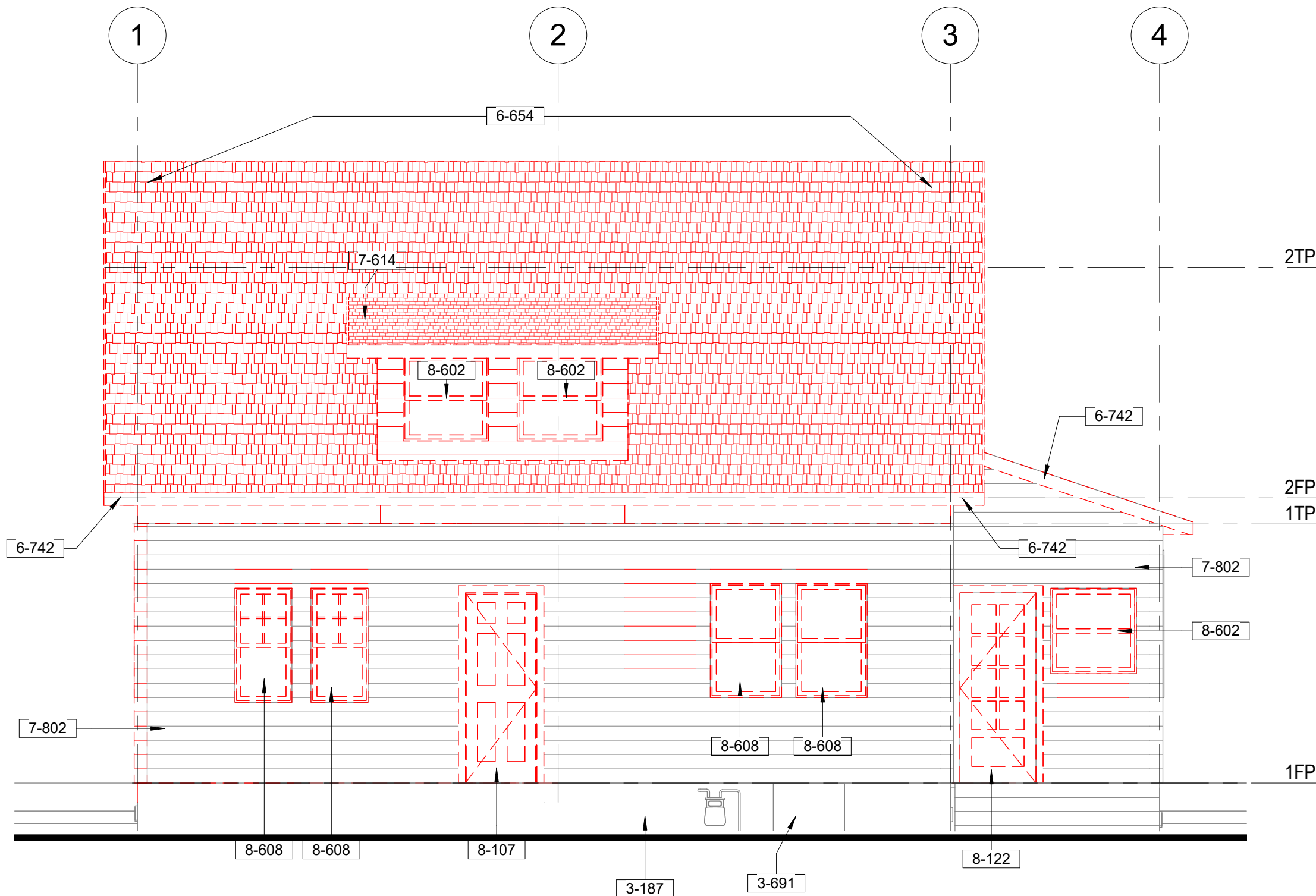
Roof Plan
1/8" = 1'-0"

Elevation Notes

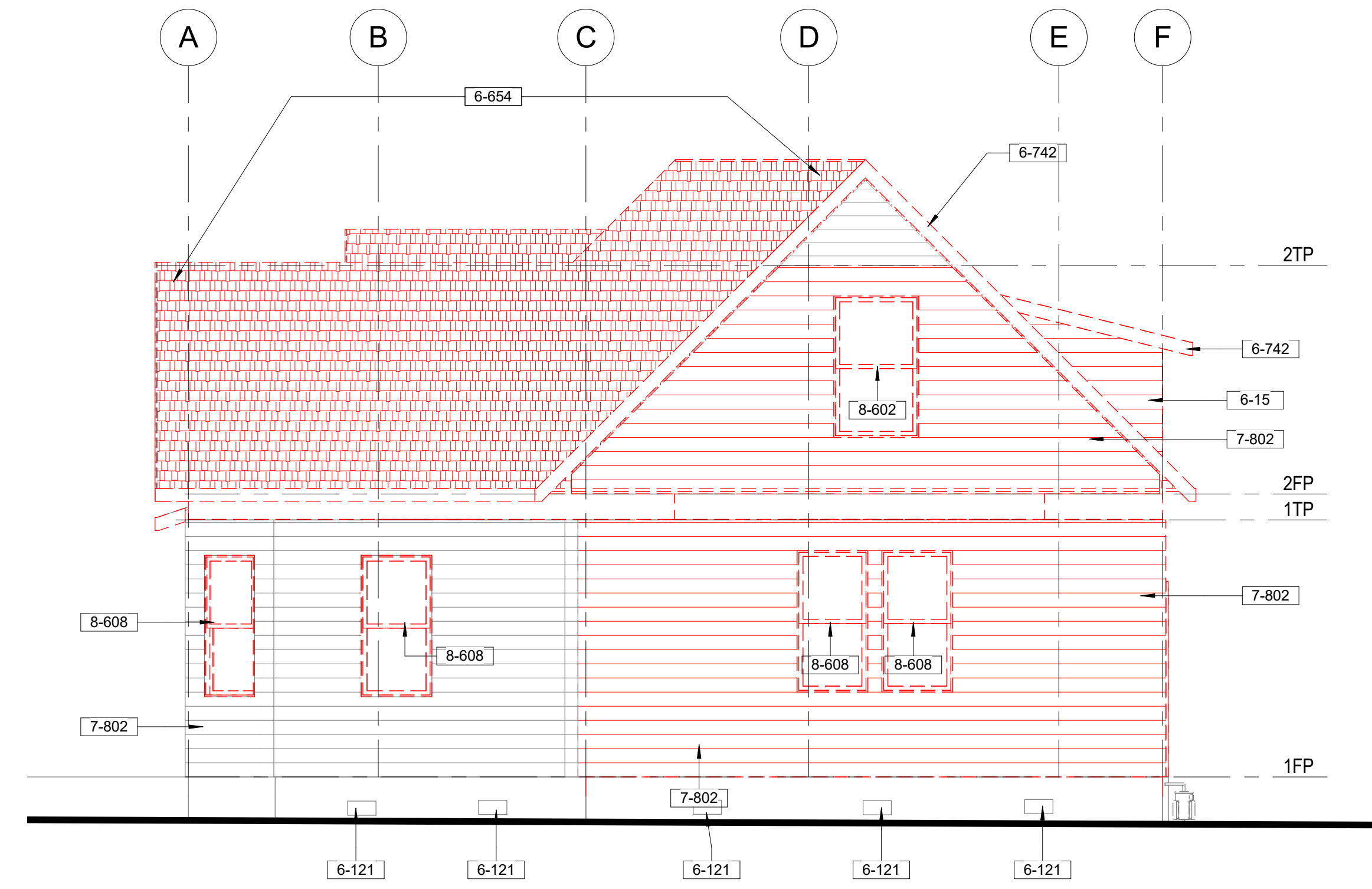
1. ROOF COVERING SHALL BE INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR "HIGH WIND AREAS".
2. GARAGE DOORS SHALL BE INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR "HIGH WIND AREAS".
3. ANY FOAM TREATMENT USED FOR ARCHITECTURE TREATMENT AND/OR PROJECTIONS LOCATED ON THE FIRST FLOOR (UNDER 14 FEET) SHALL BE COVERED WITH CONCRETE OR SIMILAR DURABLE MATERIAL A MINIMUM OF 1/4 INCH THICK, OR AS DETERMINED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.

Attic Ventilation Calculation

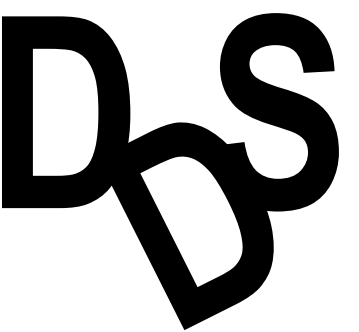
ROOF HOUSE VENT AREA (827 SQ. FT.)	
TOTAL VENTILATED ATTIC AREA =	827 SQ. FT. / 150 = 5.51 SQ. FT.
	x 144.00 SQ. IN.
SUB-TOTAL VENTILATION REQUIRED	794.00 SQ. IN.
100,000 BTUH INPUT ATTIC FAU (1 SQ. IN. PER 4,000 BTUH x 2)	50.00 SQ. IN.
TOTAL VENTILATION REQUIRED	844.00 SQ. IN.
(9) 22" x 3" EAVE VENTS @ 47 SQ. IN. EA.	= 423.00 SQ. IN.
(6) O'HAGIN CLOAKED VENT SHINGLE @ 80 SQ. IN. EA.	= 480.00 SQ. IN.
TOTAL VENTILATION PROVIDED	= 903.00 SQ. IN.



Existing South - Rear Elevation
1/4" = 1'-0"



Existing West - Right Elevation
1/4" = 1'-0"



Drafting Design Service

Javier Montes

Additions, New Homes, Tract Developments, Commercial Building

25549 Date St E, San Bernardino, CA 92404

(323) 997-3398

No.	Description	Date

SFR Fire Damage Repair For:

Monaco Realty 1027 6th St. Redlands, CA 92374

ELAVATION AND ROOF PLAN

Project number	17-0929
Date	10/07/2017
Drawn by	AE
Checked by	JM

A-5

Scale As indicated

MOUNTING: FED FROM: NEMA: AIC RATING:		PANEL				120/240V VOLTAGE: 1PH 3W 1 PH 3 W		BUS: 200 A MAIN: FEEDER:					
		(NEW / EXISTING)											
NO	TE	DESCRIPTION	CKT	AMP	POS	A	B	POS	AMP	CKT	DESCRIPTION	NO	TE
		Lighting - WHOLE HOUSE FAN	1	20 A	1	228	120		20 A	2	Lighting - DEN - DIMM		
		Lighting - KITCHEN	3	20 A	1		300	240	20 A	4	Lighting - LAUNDRY & SUN ROOM		
		SOLAR READY	5	40 A	2	0				6			
		---	7	--	--	0	521	1	20 A	8	Lighting - STUDIO & POWDER		
		Lighting - EXTERIOR	9	20 A	1	160	480		20 A	10	Lighting - LIVING & DINING		
		Receptacle - DISHWASHER	11	20 A	1		950	950	20 A	12	Receptacle - GARB. DISPOS.		
		Receptacle - KITCHEN	13	20 A	1	900	180		20 A	14	Receptacle - POWDER		
		Receptacle - LIVING & DINING	15	20 A	1		1800	1600	20 A	16	Receptacle - DRY - WASHER		
		Receptacle - STUDY & DEN	17	20 A	1	1620	2500		2	40 A	18	Power - Condenser Unit	
		Receptacle - MASTER & HALL 2	19	20 A	1		1620	2500	--	20	--		
		Receptacle - BED 2 & 3	21	20 A	1	1620	2400		2	40 A	22	HVAC - FAU	
		Receptacle - EXTERIOR	23	20 A	1		920	2400	--	24	--		
			25							26			
			27							28			
			29							30			
			31							32			
			33							34			
			35							36			
			37							38			
			39							40			
			41							42			
			PHASE SUBTOTALS:		8135 VA		11600 VA						
			TOTAL:		66 A		97 A						
NOTES:				Panel Totals		SUBTOTAL= 19712 VA		TOTAL= 18677 VA		TOTAL CONNECTED= 82 A		CONNECTED LOAD W/ LCL= 78 A	

Electrical Notes & Legend

- LIGHTING REQUIREMENTS:**
- ALL LIGHTS FLUORESCENT OR LED, TO BE HIGH EFFICACY LIGHTING AND TO BE SWITCHED SEPARATELY FROM NON HIGH EFFICACY LIGHTING.
 - LIGHTING IN BATHROOM, GARAGE, LAUNDRY ROOMS AND UTILITY ROOMS MUST BE CONTROLLED BY A OCCUPANT SENSOR.
 - ANY OTHER ROOM MUST BE SWITCHED BY AN OCCUPANT SENSOR OR DIMMER SWITCH. (CLOSETS LESS THAN 70 SQ FT ARE EXEMPT.)
 - ALL OUTDOOR LIGHTING TO HAVE A MOTION SENSOR SWITCH COMBINATION AND OR TIMER SWITCH ONLY (30 MIN MAX)
 - LIGHTING FIXTURES LOCATED WITHIN 3 FEET HORIZONTALLY AND 8 FEET VERTICALLY OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD SHALL BE LISTED FOR A DAMP LOCATION, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. (CEC 410.10)
 - OCCUPANCY FIXTURE SHALL HAVE NO MANUAL OVERRIDE AND HAVE A 30 MIN. MAX TIMER AND BE A MICROWAVE/ULTRASONIC OR PASSIVE INFRA RED TYPE
 - HIGH EFFICACY LUMINARIES MUST BE PIN BASED
 - BEDROOMS, FAMILY ROOM, LIVING ROOMS, HALLWAYS, DINING ROOMS, ETC. SHALL BE HIGH EFFICIENCY FIXTURES (E.G. FLUORESCENT OR LED), OR ALL SWITCHES SHALL BE DIMMER SWITCHES, OR BE CONTROLLED WITH AN OCCUPANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION (DOES NOT AUTOMATICALLY TURN ON) AND AUTOMATICALLY TURNS OFF WITHIN 30 MINUTES AFTER THE ROOM IS VACATED. (CA TITLE 24 SECTION 150)
 - ALL ELECTRONIC BALLAST FOR ALL FLUORESCENT LAMPS SHALL BE RATED 13 WATTS OR GREATER. RECESSED LUMINARIES IN ALL INSULATED CEILINGS SHALL BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIRTIGHT ASTM E283

- ELECTRICAL LEGEND:**
- "V" = VAPOR RESISTANT,
 - "F" = FLUORESCENT,
 - "P" = PHOTOCCELL
 - "A" = ARC-FAULT CIRCUIT INTERRUPTER PROTECTED
 - "GFI" = GROUND-FAULT CIRCUIT INTERRUPTED (GFCI)

- ELECTRICAL NOTES:**
- ALL WIRE SIZING AND INSTALLATION FOR ALL OUTLET, FIXTURES AND SWITCHES TO BE DETERMINED AND THE SOLE RESPONSIBLY OF LICENSED ELECTRICIAN ON THE JOB.
 - IF ANY FIELD CHANGES NEED TO BE MADE THE LICENSED ELECTRICIAN HAS SOLE RESPONSIBILITY FOR ALL CHANGES. ALL CHANGES MUST BE APPROVED BY GENERAL CONTRACTOR AND MUST FOLLOW THE 2011 NEC.
 - BATHROOM RECEPTACLES SHALL BE SERVED BY DEDICATED 20 AMP. CIRCUITS
 - PROVIDE FLUORESCENT GENERAL LIGHTING (40 LUMENS PER WATT MINIMUM) IN KITCHEN AND BATHROOMS (CONTAINING A TUB OR SHOWER)
 - ALL BATHROOMS AND WALK-IN-CLOSET LIGHTING SHALL BE CONTROLLED BY AN OCCUPANCY SENSOR ("OS" ON PLANS)
 - ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP
 - ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS
 - ALL 120-VOLT, SINGLE-PHASE, 15- AND 20- AMP RECEPTACLES INSTALLED IN THE GARAGE SHALL BE PROTECTED BY A LISTED GROUND-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (CEC 210.12A)
 - TAMPER RESISTANT RECEPTACLES. IN ALL AREAS SPECIFIED IN SECTION 210.52, ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.11)
 - ELECTRICAL SERVICE SHALL BE RUN UNDERGROUND
 - PROVIDE ONE ADDITIONAL 20-AMPERE BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET(S). THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS (210.11(C) (2)).
 - ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNITS (INCLUDING CLOSETS AND HALLWAYS) SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (CEC 210.12A)
 - NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES, WITH ATTACHED PRIVATE GARAGES, ARE REQUIRED TO CONTAIN A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINAL AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATED INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT UNDER CURRENT PROTECTIVE DEVICE. (CGBSC 4.106.4.4)

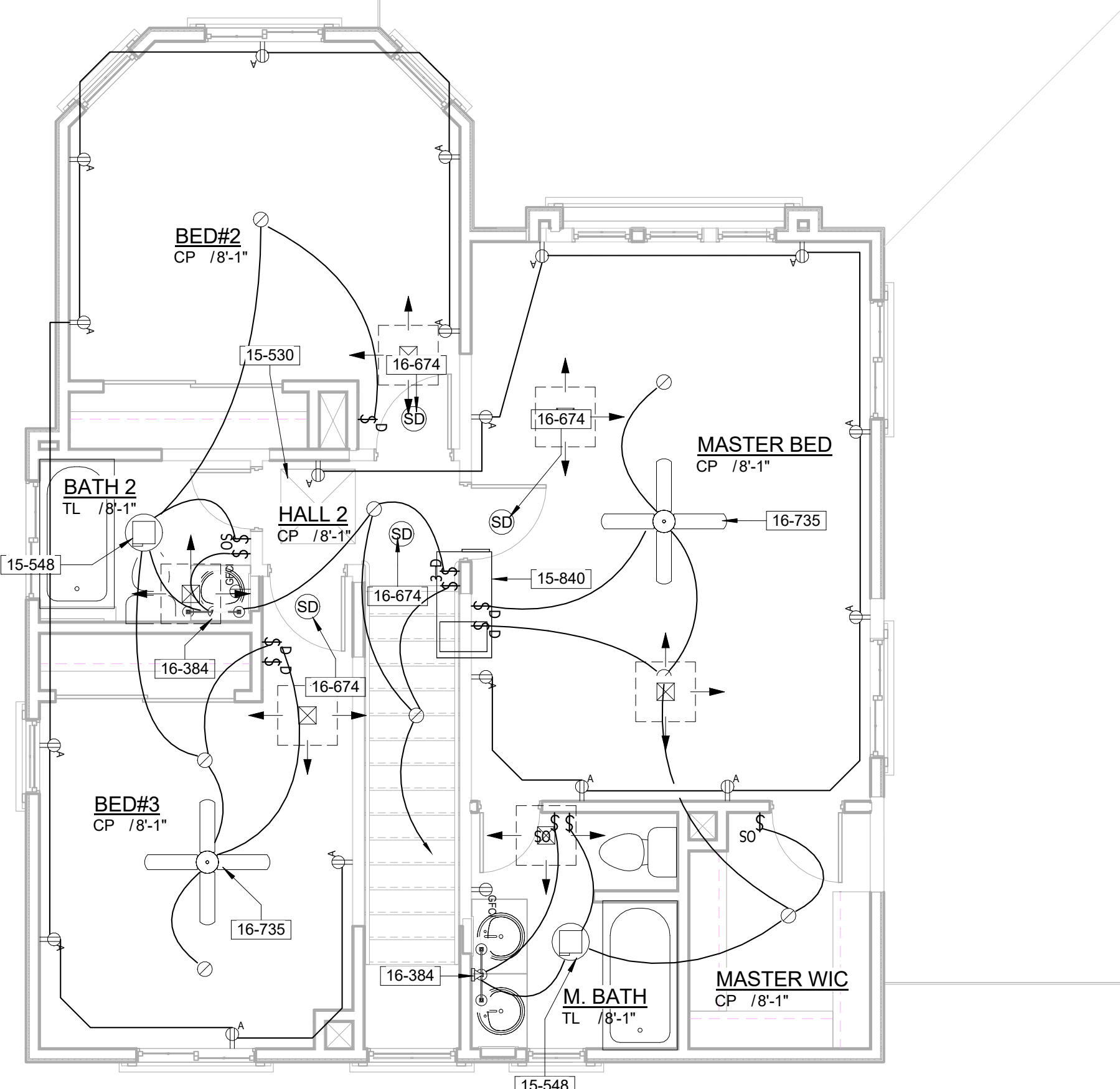
- LEGEND:**
- DUPLX RECEPTACLE: 20A-125V-2P, 3-WIRE GROUNDING TYPE, TO BE INSTALLED 12" OFF SLAB AND 8" OFF FINISHED COUNTERTOP
 - DUPLX RECEPTACLE: 20A-125V-2P, 3-WIRE GROUND FAULT INTERRUPTION TYPE, TO BE INSTALLED 12" OFF SLAB AND 8" OFF FINISHED COUNTERTOP. WEATHERPROOF COVER W/ GROUND FAULT INTERRUPTION FOR ALL OUT SIDE OUTLETS
 - DUPLX RECEPTACLE: 20A-125V-2P, 3-WIRE ARC FAULT INTERRUPTION TYPE, TO BE INSTALLED 12" OFF SLAB AND 8" OFF FINISHED COUNTERTOP
 - RECEPTACLE: 20A-220V-2P, 3-WIRE GROUNDING TYPE, TO BE INSTALLED 3' FLOOR FINISHED SLAB U.N.O.
 - CAN LIGHT, ALL CAN LIGHTS ARE TO BE THERMALLY PROTECTED. ALL LIGHTS TO BE HIGH EFFICIENCY (FLUORESCENT.) U.N.O.
 - WALL MOUNTED FIXTURE HIGH EFFICIENCY (FLUORESCENT.) U.N.O.
 - MS - MOTION SENSOR BUILT IN SWITCH
 - CEILING MOUNTED FIXTURE OR FAN BOX ALL LIGHTS TO BE HIGH EFFICIENCY (FLUORESCENT.) U.N.O.
 - FLUORESCENT LIGHT, ALL LIGHTS TO BE HIGH EFFICIENCY (FLUORESCENT.)
 - SMOKE DETECTORS AND COMBINED CARBINE DIOXIDE DETECTOR - HARD WIRE TO POWER AND SECURITY SYSTEM W/ BATTERY BACK UP
 - TOGGLE SWITCH, 20A-125V, FLUSH MOUNT AT +48" OR AS NOTED SUBSCRIPT AT SYMBOL INDICATES THE FOLLOWING:

- 3 - THREE WAY
 - 4 - FOUR WAY
 - D - DIMMER
 - OS - OCCUPANT SENSOR
 - T - TIMER
 - MS - MOTION SENSOR
- THERMOSTAT SEE FAU AND A/C UNIT INSTALLATION MANUAL FOR DETAILS
- 100 CFM EXHAUST FAN 3.5 SONES:
- ALL BATHROOMS TO HAVE LIGHT THAT IS TO HAVE AT LEAST 40 LUMEN PER WATT.
 - ALL BATHROOMS W/ TUBS OR SHOWERS, WATER CLOSETS AND LAUNDRY ROOMS, W/ PROPER EXTERIOR OPERABLE VENTILATION SHALL USE A RECIRCULATING FAN FOR REMOVING ODORS BATHROOMS W/ TUBS OR SHOWERS AND LAUNDRY ROOMS, W/ NO EXTERIOR OPENINGS SHALL BE PROVIDED A MECHANICAL VENTILATION SYSTEM THAT PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR DIRECTLY VENTED TO THE OUTSIDE.
 - THE DISCHARGE POINT FOR THE EXHAUST AIR SHALL BE AT LEAST 3' FROM ALL EXTERIOR OPENINGS WHICH ALLOWS AIR ENTRY INTO THE OCCUPIED AREAS.

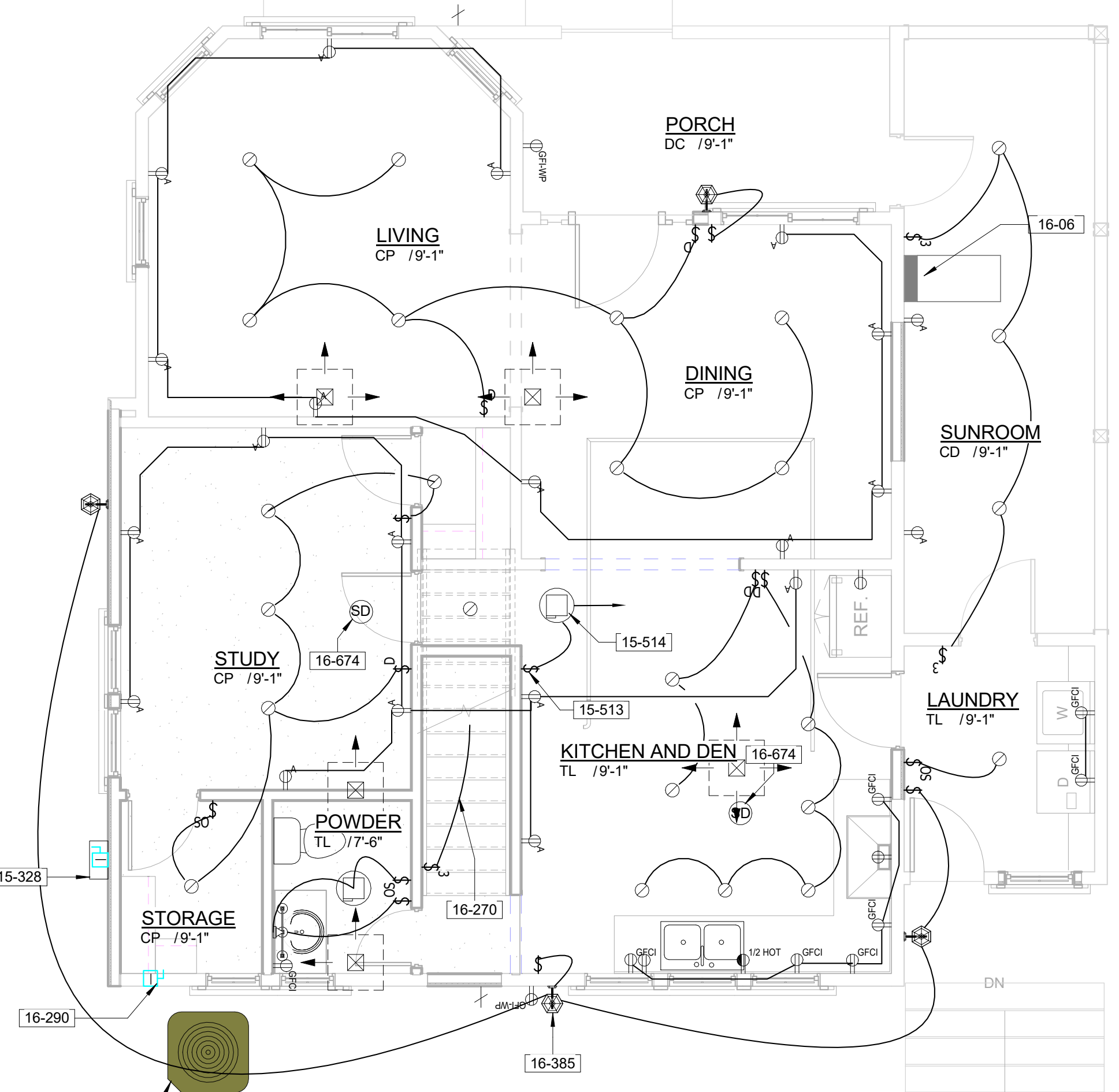
- ABBREVIATIONS:**
- F = FLUORESCENT
 - V = VAPOR RESISTIVE

Plan Notes

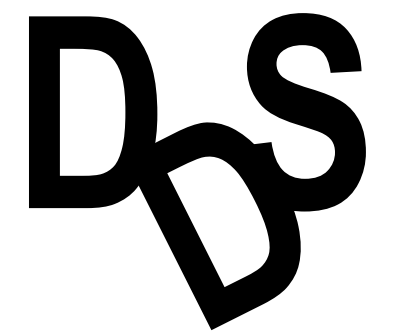
- RESIDENTIAL TANKLESS GAS-FIRED HOT WATER FIXTURE ON WALL (16-1/2" W. x 24-1/2" H. x 8" D.) WITH 3/4" GAS AND WATER CONNECTION AND 4" DIAMETER "B" VENT ("TAKAGI FLASH T-K2") OR EQUAL. (888) 882-5244. VERIFY REQUIRED INPUT BTU RATE WITH OWNER.
- PROVIDE 3/4" DIAMETER SCHEDULE 40 PVC CONDENSATE LINE FROM FAU PLATFORM TO ADJACENT WASTE AND VENT RISER IN THE ATTIC AND A SECONDARY 3/4" DIAMETER OVERFLOW LINE TO OUTSIDE ABOVE A WINDOW
- STANDARD ON/OFF SWITCH FOR WHOLE HOUSE FAN. (MAXIMUM SOUND LEVEL - 1 SONE). SWITCH TO BE LABELED "OPERATE WHEN HOUSE IS IN USE. KEEP ON EXCEPT WHEN GONE FOR OVER 7 DAYS"
- WHOLE HOUSE FAN (PANASONIC WHISPER CEILING FV-15VQ5)
- 30" x 30" ATTIC ACCESS FOR ATTIC FAU. PROVIDE WEATHERSTRIP OR SEAL AT THE ATTIC ACCESS PANEL TO PREVENT DRAFTS. (ACCESS SHALL BE SIZED TO ACCOMMODATE REMOVAL OF LARGEST PIECE OF EQUIPMENT)
- EXHAUST FAN CAPABLE OF FIVE COMPLETE AIR CHANGES EVERY HOUR. DISCHARGE AIR TO OUTSIDE WITH POINT OF DISCHARGE A MINIMUM OF 3'-0" FROM ANY OPENING WHICH ALLOWS OUTSIDE AIR INTO THE BUILDING.
- 4 TON HORIZONTAL FAU WITH COOLING COIL. SET ON PLYWOOD PLATFORM WITH 10" MINIMUM INSULATION BELOW AND 3/4" PRIMARY CONDENSATE DRAIN. PROVIDE 4" DIAMETER "B" VENT TO OUTSIDE AIR. PROVIDE WATERTIGHT GALVANIZED PAN WITH 3/4" PVC CONDENSATE OVERFLOW TO DRAIN ABOVE WINDOW.
- EXISTING 60 AMP ELECTRICAL PANEL METER TO BE UPGRADED TO 200 AMP MAIN. (ELECTRICAL BUILDER TO BE REMOVED AND REPLACED FIRE DAMAGE WIRE PER CEC-2016)
- TO THREE-WAY SWITCH BELOW (OR TO FIXTURE ABOVE)
- 220 V. DISCONNECT SWITCH (VERIFY CONDUCTOR SIZE AND FUSING WITH LOCAL CODES)
- WALL SCONCE LIGHT (+84" UON)
- SURFACE MOUNTED FLUORESCENT / LED LIGHT (+84" UON) WITH MOTIO DETECTION
- ALL NEW COMBINATION SMOKE / CARBON MONOXIDE ALARMS SHALL: RECEIVE PRIMARY POWER FROM THE BUILDING WIRING, HAVE A BATTERY BACK-UP, EMIT A SIGNAL WHEN THE BATTERIES ARE LOW, HAVE PERMANENT WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION, BE WIRED SO THAT WHEN ONE IS ACTIVATED, ALL ARE ACTIVATED AND THE DETECTOR SHALL SOUND AN ALARM THAT IS AUDIBLE IN ALL SLEEPING AREAS. ("FIRST ALERT" MODEL NO. SC812IB, OR EQUAL)
- CEILING FAN WITH LIGHT (AS SELECTED BY OWNER). PROVIDE METAL JUNCTION BOX LISTED FOR FAN SUPPORT SECURED TO SOLID 2x BLOCKING. PROVIDE SEPARATE SWITCHES FOR FAN AND LIGHT.



2nd Floor Plan - Electrical
1/4" = 1'-0"



1st Floor Plan - Electrical
1/4" = 1'-0"



Drafting Design Service
Javier Montes
Additions, New Homes, Tract Developments,
Commercial Building
25545 Date St. E. San Bernardino, CA 92404
(323) 997-3398

No.	Description	Date

SFR Fire Damage Repair For:
Monaco Realty
1027 6th St. Redlands, CA 92374
ELECTRICAL PLANS

Project number	17-0929
Date	10/07/2017
Drawn by	AE
Checked by	JM

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Scale 1/4" = 1'-0"

PLUMBING PIPE INSULATION SCHEDULE

SERVICE	TEMPERATURE RANGE (F)	PIPE SIZE (IN. DIA.)			
		RUNOUTS UP TO 2	1 AND LESS	1.25 THRU 2	2.5 THRU 4
DOMESTIC HOT WATER RECIRCULATING LOOPS	ABOVE 105°	0.5	1.0	1.0	1.5
FIRST 8 FEET OF PIPING FROM STRAPPE & ELECTRIC TRACE TAPE SYSTEMS (NON-RECIRCULATING)	ABOVE 105°	0.5	1.0	1.0	1.5

PIPE MATERIAL SCHEDULE

SERVICE	PIPE MATERIAL & WEIGHT	TYPE OF JOINTS	PRESSURE FITTINGS MATERIAL	SHUT-OFF RATINGS PSI - SWP	VALVE
COLD WATER ABV. GROUND	COPPER L TUBE	SOLDERED	CAST BRONZE/ WROUGHT COPPER	125	BALL GATE CHECK
COLD WATER BELOW GROUND TO 5' OUTSIDE BUILDING	COPPER K TUBE	BRAZED	CAST BRONZE/ WROUGHT COPPER	125	BALL GATE
COLD WATER BELOW GROUND BEYOND 5'-0"	SCHEDULE 80 PVC	SOLVENT-WELD	PVC	125	GATE
HOT WATER ABV. GROUND	COPPER L TUBE	SOLDERED	CAST BRONZE/ WROUGHT COPPER	125	BALL CHECK
FUEL GAS	STEEL 40, BLACK	SCREWED WELDED	MILL IRON STEEL WELD	150 150	SQR HEAD COCK
	POLYETHYLENE PIPING STAINLESS STEEL TUBING	PER MANF.	STAINLESS STEEL TUBING	PER MANF.	PER MANF.
VENT	NC-HUB CAST IRON	NC-HUB	N/A	N/A	N/A
WASTE & SOIL DRAINS BELOW GRADE	SCHEDULE 40 ABS	SALVENT-WELD	ABS	N/A	N/A
	No-hub Cast Iron	No-hub	N/A	N/A	N/A
	Copper L Tube	Soldered	Bronze	125	N/A
	NC-HUB CAST IRON	NC-HUB	N/A	N/A	N/A
	Schedule 40 ABS	Solvent-Weld	ABS	N/A	N/A
CONDENSATE	COPPER M TUBE	SOLDERED	BRONZE	125	N/A

General Mechanical Notes

- HEATING SYSTEMS SHALL BE EQUIPPED WITH THERMOSTATS THAT HAVE A CLOCK MECHANISM WITH SET POINTS FOR AT LEAST FOUR PERIODS WITHIN 24 HOURS.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)

Mechanical Vent Notes

- VENT NOTES**
- GC 4.506.1 - BATHROOM EXHAUST FANS, MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGES OF 50% TO 80%.

- WHOLE BUILDING VENTILATION REQUIREMENTS**
- AT LEAST ONE MECHANICAL VENTILATION SYSTEM IN THE BUILDING MUST BE DESIGNATED FOR USE IN COMPLIANCE WITH THE WHOLE-BUILDING VENTILATION REQUIREMENT. ALTERNATIVELY, THE SUM OF THE RATED AIRFLOWS FROM MULTIPLE FANS CAN BE UTILIZED TO MEET THE REQUIRED WHOLE-BUILDING VENTILATION AIRFLOW. THE SYSTEM(S) MUST DELIVER CONTINUOUS VENTILATION AIRFLOW AT A RATE GREATER THAN OR EQUAL TO THE RATE SPECIFIED IN EQUATION 4.1A, AND FAN SONE RATINGS MUST NOT EXCEED 1.0, FOR DWELLING OCCUPANT DENSITIES KNOWN TO BE GREATER THAN (Nbr + 1). THE RATE SHALL BE INCREASED BY 7.5 CFM FOR EACH ADDITIONAL PERSON.
- CALCULATION:
 $Q_{fan} = (0.01 \times 1,610) + (7.5 \times (3 + 1))$
 $Q_{fan} = 46.1 \text{ CFM REQUIRED}$
- USE (1) PANASONIC WHISPER CEILING FAN
 TOTAL CFM: 100.00
 EDL: 140.00
 MODEL LIST: WHISPER CEILING FV-15VQ5

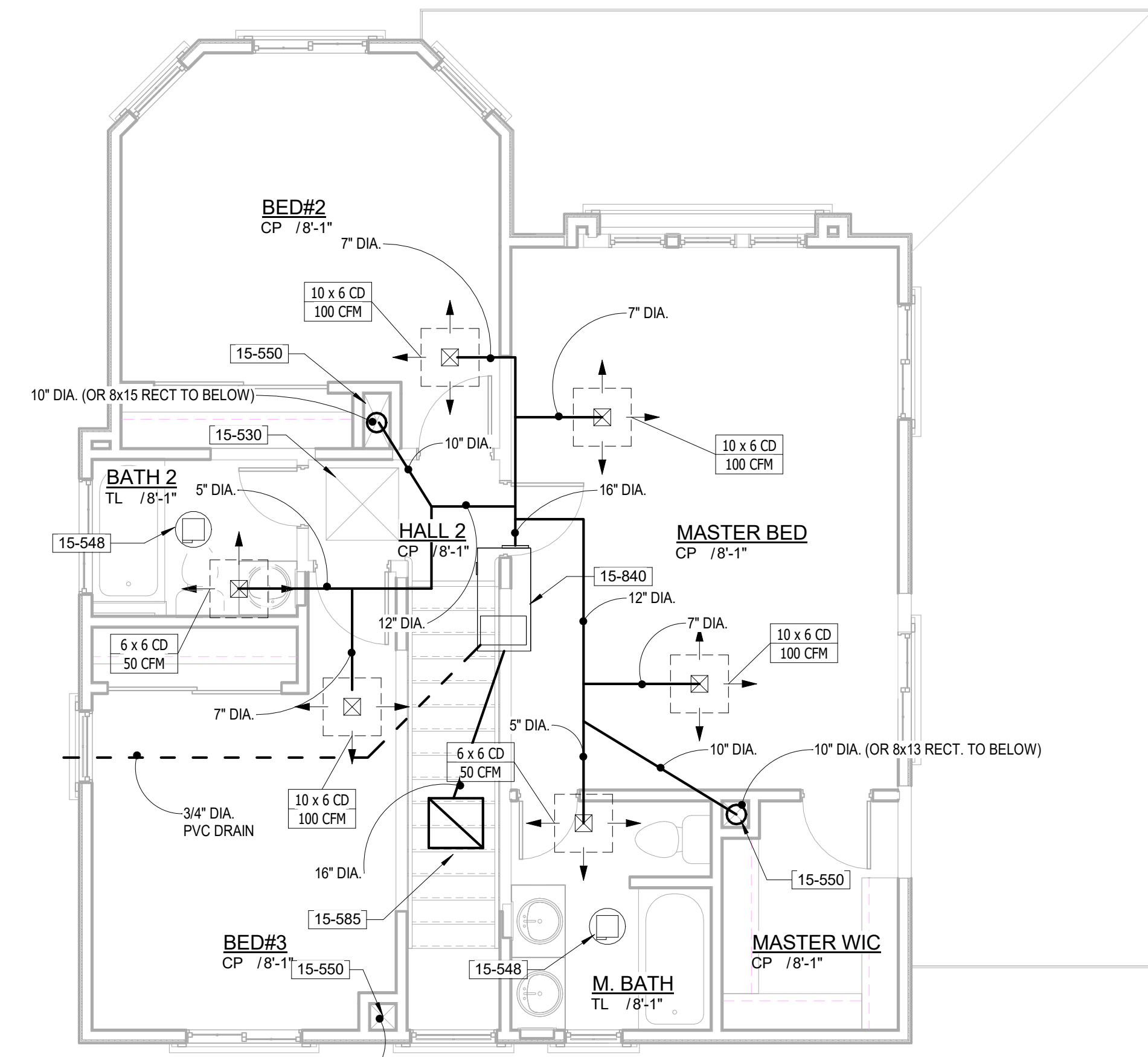
- MECHANICAL NOTES**
- MECHANICAL EXHAUST FANS FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING (CALGREEN 4.506.1): 1) ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE BUILDING; 2) CONTROLLED BY READILY ACCESSIBLE HUMIDISTAT.
 - INTERMITTENT LOCAL VENTILATION EXHAUST AIRFLOW RATES SHALL 100 CFM IN KITCHENS (ASHRAE STANDARD 62.2-2007)
 - PROVIDE VERTICAL/HORIZONTAL CHASES ON MECHANICAL AND PLUMBING PLANS TO ACCOMMODATE DUCTS AND VENTS AS REQUIRED
 - PROVIDE THE FOLLOWING IN EACH BATHROOM, POWDER ROOM, AND WATER CLOSET COMPARTMENT (CRC R303.3):
 * LOCAL EXHAUST FAN TO EXTERIOR PROVIDING MINIMUM 50 CFM INTERMITTENT VENTILATION OR 20 CFM CONTINUOUS
 * ARTIFICIAL LIGHTING OR MINIMUM 3 SQUARE FEET OF WINDOW GLAZING

Water Notes

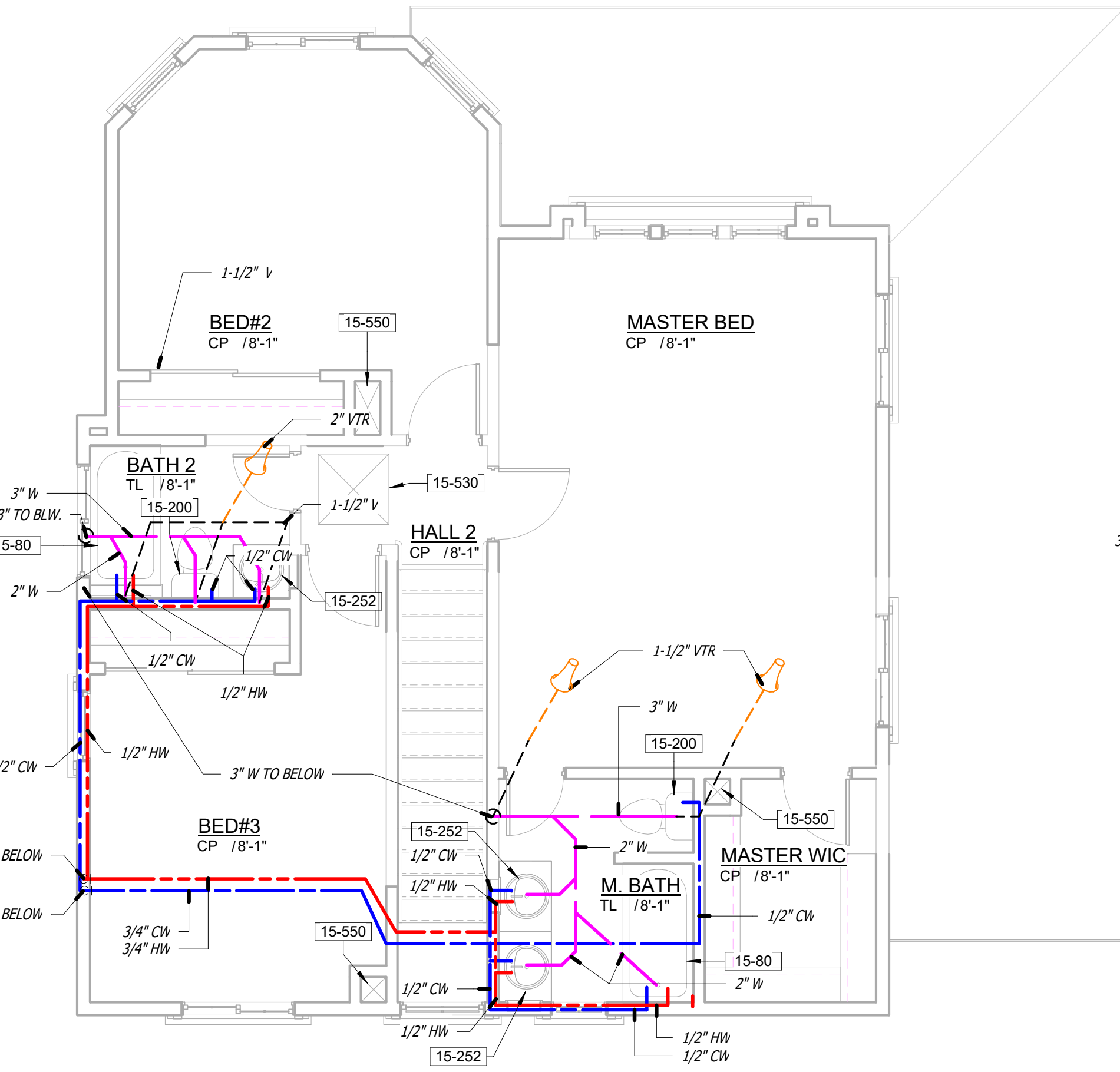
- *WATER PIPE AND FITTINGS WITH A LEAD CONTENT WHICH EXCEEDS 8% SHALL BE PROHIBITED AND REPLACED IN SYSTEMS CONVEYING POTABLE WATER
- ALL FIXTURES, EQUIPMENT, PIPING, AND MATERIALS SHALL BE LISTED
- ALL PLUMBING FIXTURES SHALL MEET THE FLOW REQUIREMENTS SPECIFIED IN THE CALIFORNIA GREEN BUILDING CODE.
- THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1 AS FOLLOWS:
 WATER CLOSETS 1.28 GAL. PER FLUSH
 SHOWER HEAD 2.0 GAL. PER MIN. AT 80 PSI
 FAUCETS 1.6 GAL. PER MIN. AT 60 PSI MAX.
 0.8 GAL. PER MIN. AT 20 PSI MIN.
- PLUMBING CONTRACTOR SHALL MAKE EVERY EFFORT TO GANG VENTS IN THE ATTIC TO MINIMIZE ROOF PENETRATIONS. OFFSET VENTS TO REAR OF HOUSE AS MUCH AS POSSIBLE.

Plan Notes

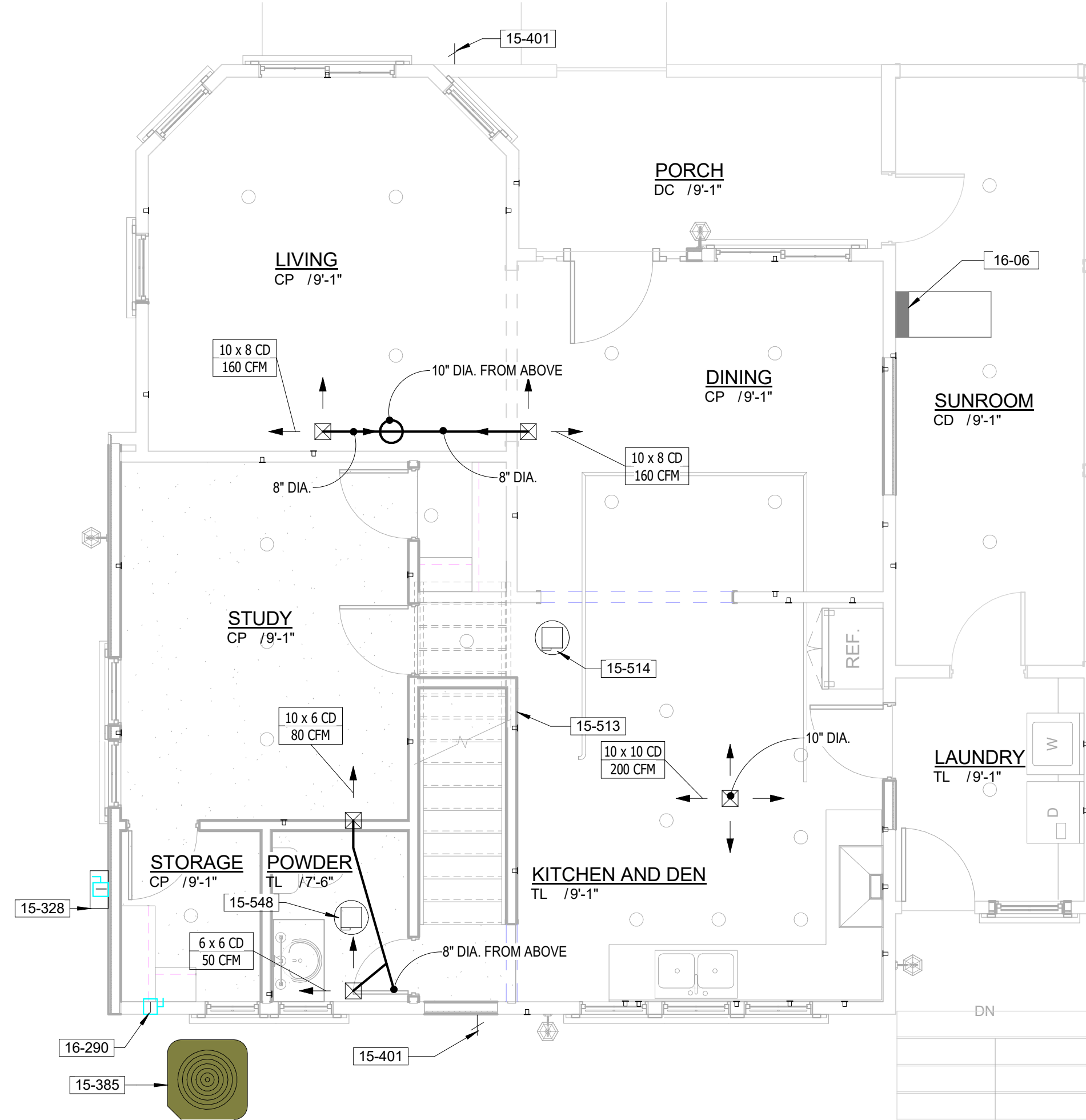
- REFRIGERATOR SPACE (PROVIDE RECESSED SHUT-OFF IN PLASTIC BOX FOR ICEMAKER)
- HOT AND COLD WATER SHUT-OFF IN RECESSED PLASTIC BOX FOR CLOTHES WASHER (CLOTHES WASHER IS NIC)
- CLOTHES DRYER (NIC)
- 60" x 32" x 72" HIGH FIBERGLASS COMBINATION TUB/SHOWER UNIT. NO SLIP JOINT CONNECTIONS ARE PERMITTED IN WASTE LINE. SET SHOWER HEAD IN WALL AT +76" ABOVE FLOOR WITH METAL ESCUTCHEON. PROVIDE SHOWER CURTAIN ROD. SHOWERS & TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER SEC. 420.0 2000 CPC.
- TANK-TYPE WATER CLOSET (1.28 GALLONS PER FLUSH MAXIMUM)
- NEW CERAMIC TILE TOP, 6" SPLASH AND END SPLASH (THINSET WITH "W-CAP" EDGE) WITH CHINA LAVATORY AND BASE CABINET BELOW
- EXISTING KITCHEN SINK TO REMAIN
- RESIDENTIAL TANKLESS GAS-FIRED HOT WATER FIXTURE ON WALL (16-1/2" W. x 24-1/2" H. x 8" D.) WITH 3/4" GAS AND WATER CONNECTION AND 4" DIAMETER "B" VENT ("TAKAGI FLASH T-K2") OR EQUAL, (888) 882-5244. VERIFY REQUIRED INPUT BTU RATE WITH OWNER.
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- PROVIDE NEW HOSE BIB WITH BACKFLOW PREVENTER STANDARD ON/OFF SWITCH FOR WHOLE HOUSE FAN. (MAXIMUM SOUND LEVEL - 1 SONE). SWITCH TO BE LABELED "OPERATE WHEN HOUSE IS IN USE. KEEP ON EXCEPT WHEN GONE FOR OVER 7 DAYS"
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- DUCT SPACE (VERIFY EXACT SIZE IN FIELD)
- FLUSH RETURN AIR GRILLE AND FILTER
- 4 TON HORIZONTAL FAU WITH COOLING COIL. SET ON PLYWOOD PLATFORM WITH 10" MINIMUM INSULATION BELOW AND 3/4" PRIMARY CONDENSATE DRAIN. PROVIDE 4" DIAMETER "B" VENT TO OUTSIDE AIR. PROVIDE WATERTIGHT GALVANIZED PAN WITH 3/4" PVC CONDENSATE OVERFLOW TO DRAIN ABOVE WINDOW.
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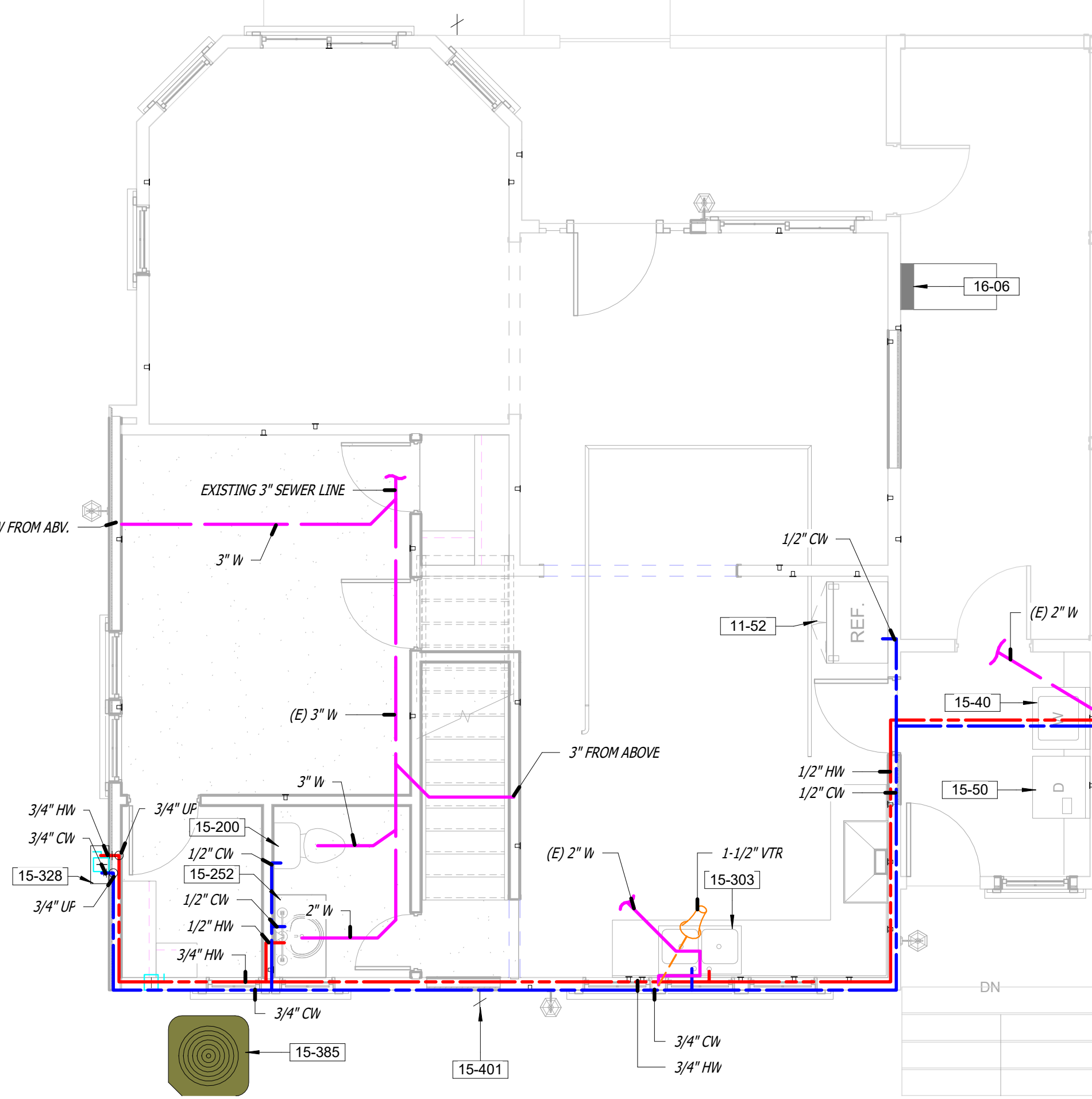
2nd Floor Plan - Mechanical
1/4" = 1'-0"



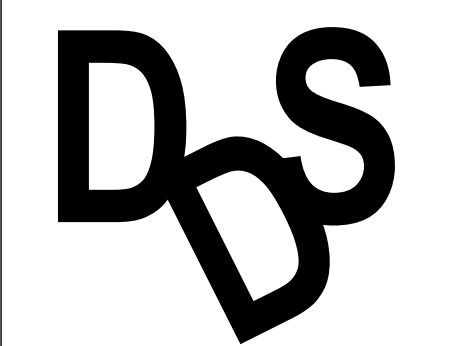
2nd Floor Plan - Plumbing
1/4" = 1'-0"



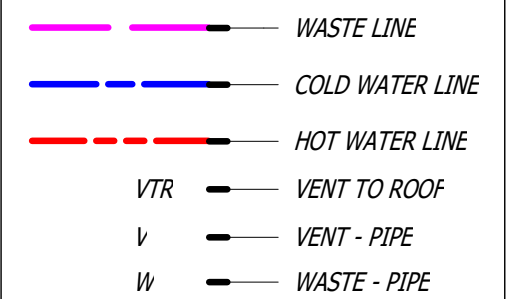
1st Floor Plan - Mechanical
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1st Floor Plan - Plumbing
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 1027 6th St. Redlands, CA 92374

MECHANICAL & PLUMBING PLANS

Project number: 17-0929
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 Drawn by: AEJ
 Checked by: JM

Scale: As indicated

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